



City of Waupun

201 E. Main Street

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"Wild Goose Center of Wisconsin"

April 17, 2017

TO: Plan Commission Members
FROM: Mayor, Julie Nickel
SUBJECT: Plan Commission meeting scheduled for **Wednesday, April 19, 2017, at 4:45 p.m.** in the Council Chambers, City Hall, Waupun.

AMENDED AGENDA

1. Call to Order
2. Roll Call
3. Approve minutes of the March 29, 2017 meeting.
4. Discuss / Approve Site Plan for the Athletic Complex at the Waupun High School.
5. **Discuss / Approve Site Plan for Federal Mogul addition at 401 Industrial Ave.**
6. Discuss / Approve CSM for a resurvey of Lots 10 and 11 of Heritage Ridge for the City of Waupun.
7. Adjournment

Cc: Mayor & Common Council
City Attorney
Department Managers
Media
Rettler Corp.
Federal Mogul Corp

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CITY OF WAUPUN
PLAN COMMISSION
MINUTES OF THE MARCH 29, 2017 MEETING
(**DRAFT**)

1. Call to Order:
The Plan Commission met at 4:45 p.m. in the Council Chambers, City Hall, Waupun.
2. Roll Call:
Members Present: Julie Nickel, Elton TerBeest, Fred Lueck, Nancy Vanderkin, Jerry Medema, Derek Drews, and Jeff Daane
Staff Present: Susan Leahy and Jared Oosterhouse
3. Chairman Nickel called for the approval of the minutes of the March 15, 2017 meeting. Lueck noted there are two typo's in the minutes. The "s" was omitted from Derek Drews name in the Roll Call, and on Page 2, second paragraph, line 3, the word "postal" should be replaced by the word "portal". Motion by Vanderkin, seconded by Daane to approve the minutes of the March 15, 2017 meeting with the corrections noted. Motion carried, unanimously.
4. Public Hearing – Conditional Use Permit of CND Specialties, Inc. to establish a Truck Stop on Lots 10 & 11 of Heritage Ridge Subdivision, located in TIF District #7, City of Waupun.

Chairman Nickel read the call of the hearing and its purpose. Jared Oosterhouse who is substituting for Kathy Schlieve noted that the site for the proposed truck stop will be at the intersection of USH 151 and STH 26 in the Heritage Ridge Subdivision located in TIF District #7, City of Waupun. He also noted that final engineering plans have not yet been finalized. Cal Hermann, CND Specialties, Inc. & Jared both noted that more information for the project will be forthcoming but it's imperative at this time to get the required Conditional Use Permit so the development can proceed. Failure to get the necessary approvals would nullify the purchase agreement with the City. Mr. Hermann also indicated additional plans will be provided, such as survey, site plan, plan for a retention pond, business plans, etc. so they can get their loan approvals. He estimated the development will cost about 3.5 million dollars.

Lueck questioned who was actually notified by mail of the Public Hearing as it appears not one citizen, or local city, Town, County, or State Government officials are in attendance tonight and it's one of the City's largest developments in years. He also noted that Section 16.12(i) of the City's Zoning Ordinance lists the findings the Plan Commission must make before granting a Conditional Use Permit. He said that the plans submitted with the committee's agenda were very lacking and difficult to determine how and where the structures are going to be located or how they will be oriented on this property. There is no information as to where the access to the property would be located so as to determine if such location is a safe access for large numbers of semis entering and exiting the site. Why can't the signs comply with the ordinance regular size, height and location requirements of the ordinance, especially when there are 10 acres here. Where is the location of the retention pond, easements, if any, and many other items such as a business plan. These are items that should have been submitted and reviewed by the City Staff and the Plan Commission prior to a Conditional Use Permit public hearing.

Chairman Nickel noted that the access to the site will be from an extension of Shaler Dr. to the

North and will abut STH 26 to the West. After further discussion by the Plan Commission, it was found that the proposed truck stop use of the 10 acre parcel would not be detrimental to the adjacent land uses in this area and is an appropriate use for this Zoning District. We find that the proposed truck stop should not create a traffic hazard if proper permits are obtained from the WI DOT. We find that the proposed land use should not hinder future development in this area. In fact, it may increase further commercial development in this Subdivision. Furthermore, this use should not create undesirable levels of noise or light and the proposed use would not cause property values to decline because of its unique location.

Susan Leahy, City Zoning Administrator, indicated a photometric plan would be required for onsite lighting, including the sign lighting.

Chairman Nickel called for a motion to approve the Conditional Use Permit. Motion by Medema, seconded by TerBeest to grant the requested Conditional Use Permit. Lueck asked to amend the motion and grant the Conditional Use Permit for a Truck Stop complex on Lots 10 & 11 of Heritage Ridge Subdivision, said lots located in a B-4 Interchange Business Zoning District subject to the following conditions:

1. Any necessary state highway access and sign permits be obtained prior to construction of any buildings and/or signs on the premises.
2. Any necessary City sign permits and/or variances be obtained from the City Board of Appeals prior to any sign installation on the premises.
3. A scaled site plan and erosion control plan shall be submitted and reviewed and approved by City staff and the Plan Commission prior to the issuance of any construction permits.
4. The owner shall submit a business plan to include such items as # of employees, hours of operation, etc., prior to issuance of any local building and/or zoning permits.

Vote: Drews, Daane, TerBeest, Medema, Vanderkin, Lueck, Nickel – "AYE". Motion carried, unanimously 7/0.

5. Motion by Vanderkin, seconded by Drews to adjourn the meeting, motion carried, meeting adjourned at 5:05 p.m.

Fred Lueck
Secretary



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963

RETTLER
corporation

2017 American Institute of Architects
Registered Professional Architect
1000 North Lincoln Street, Suite 200
Madison, WI 53703
www.rettler.com

ISSUANCE AND REVISIONS

PLAN COMMISSION
REVIEW

#	DATE	DESCRIPTION
1	3/16/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	03/31/2017

TITLE SHEET

T100

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WAUPUN HIGH SCHOOL WAUPUN, WI

ATHLETIC COMPLEX PROJECT SITE PLAN SUBMITTAL 3-31-17

WAUPUN HIGH SCHOOL
801 E LINCOLN ST.
WAUPUN, WI 53963



RETTLER PROJECT #16.009
LOCATION MAP
WAUPUN, WISCONSIN
NOT TO SCALE

OWNER

WAUPUN AREA SCHOOL DISTRICT
950 WILCOX STREET
WAUPUN, WI 53963
PHONE: 920-324-9341

PROJECT MANAGER / LANDSCAPE ARCHITECT/ENGINEER (L/A/E)

EPPSTEIN UHEN: ARCHITECTS
333 EAST CHICAGO STREET
MILWAUKEE, WISCONSIN 53202
PHONE: 414-271-5350

CONSULTANTS

RETTLER CORPORATION
3317 BUSINESS PARK DRIVE
STEVENS POINT, WISCONSIN 54482
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FAX: 715-341-0431

MUERMANN ENGINEERING
116 FREMONT STREET
PO BOX 235
KIEL, WISCONSIN 53042
PHONE: 920-894-7800
FAX: 920-894-7916

MORPH DESIGNS, LLC
W10953 DEAD END ROAD
WAUPUN, WISCONSIN 53963
PHONE: 920-948-975

SHEET INDEX

T100	TITLE SHEET
C100	EXISTING SITE PLAN
C300	SITE LAYOUT PLAN
C400	SITE GRADING & EROSION CONTROL PLAN
C500	SITE UTILITY PLAN
A100	CONCESSIONS BUILDING FLOOR PLAN
A200	CONCESSIONS BUILDING ELEVATIONS



- LEGEND**
- These standard symbols will be found in the drawing.
- ★ LIGHT POLE
 - ⚡ POWER POLE
 - GUY WIRE
 - ⊠ ELECTRICAL JUNCTION BOX
 - ⊠ TELEPHONE PEDESTAL
 - ⊠ ELECTRICAL MANHOLE
 - ⊠ SANITARY MANHOLE
 - ⊠ STORM MANHOLE
 - ⊠ TELEPHONE MANHOLE
 - ⊠ WATER MANHOLE
 - ⊠ UTILITY MANHOLE
 - ⊠ CATCH BASIN
 - ⊠ CATCH BASIN
 - ⊠ CATCH BASIN
 - ⊠ WATER VALVE
 - ⊠ HYDRANT
 - 1 1/4" IRON PIPE FOUND
 - 1 1/2" IRON BAR FOUND
 - #6 RE-BAR FOUND
 - COMPUTED PROPERTY CORNER
 - #6 RE-BAR SET
 - HARRISON MONUMENT FOUND
 - CONTROL POINT
 - ⊠ SOIL BORING LOCATION
 - ⊠ 3" CHAINLINK FENCE
 - ⊠ 6" CHAINLINK FENCE
 - ⊠ 6" H ORNAMENTAL FENCE
 - ⊠ SANITARY SEWER
 - ⊠ STORM SEWER
 - ⊠ POWER OVERHEAD
 - ⊠ BURIED ELECTRIC
 - ⊠ BURIED GAS
 - ⊠ BURIED TELEPHONE
 - ⊠ WATERMAIN
 - ⊠ FIBER OPTICS
 - ⊠ IRRIGATION PIPE
 - ⊠ EDGE OF BITUMINOUS
 - ⊠ FLAG POLE
 - ⊠ DECIDUOUS TREE
 - ⊠ EVERGREEN TREE
 - ⊠ BUSH/SHRUB
 - ⊠ ELECTRIC METER
 - ⊠ GAS METER
 - ⊠ GAS VALVE
 - ⊠ CONTOUR LINE
 - ⊠ SPOT ELEVATION
 - ⊠ SIGN
 - ⊠ SPRINKLER HEAD
 - ⊠ ELECTRIC OUTLETS
 - ⊠ PLAY EQUIPMENT
 - ⊠ POLE POST
 - ⊠ ROCKS
 - ⊠ BASKETBALL HOOP
 - ⊠ IRRIGATION BOX

PROPERTY DESCRIPTION

LOCATED IN THE SW 1/4 OF SECTION 4, TOWNSHIP 13 NORTH, RANGE 16 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS. LOCATIONS ARE APPROXIMATE.

FIELD VERIFY EXISTING SANITARY AND STORM SEWER PIPE SIZES AND THEIR LOCATIONS.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE, (TICKET # 20170504251, 20170504255, & 20170504257)

PRIVATE UTILITY LOCATE WAS DONE BY AA PRIVATE LINES ON 12-27-2012.

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS MADE BY ME ON 01/18/2013, AND 02/15/2017.

DATED THIS 30TH DAY OF MARCH, 2017

SIGNED  AARON PARKS, PLS #2851

BENCHMARKS

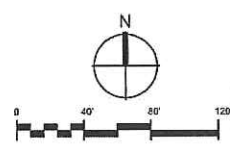
ELEVATIONS BASED ON: NAVD 83 WITH WY GEOID 12A USING WISCONSIN

BM #1
BURY BOLT OF HYDRANT, LOCATED ON SOUTH SIDE OF ASPHALT DRIVE, ON SOUTH SIDE OF HIGH SCHOOL.
ELEVATION = 895.29

SURVEY CONTROL POINTS

COORDINATE SYSTEM BASED ON: NAD 83 (2011) USING DODGE COUNTY COORDINATES USING WISCONSIN (WISCONSIN) CONTINUOUSLY OPERATING REFERENCE STATIONS

CP #1 N: 784819.53 E: 878881.04 Z: 895.17 CP: MAG	CP #2 N: 784836.81 E: 878823.51 Z: 895.38 CP: MAG
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eua

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ISSUANCE AND REVISIONS

PLAN COMMISSION REVIEW

#	DATE	DESCRIPTION
1	3/16/17	BID

KEY PLAN

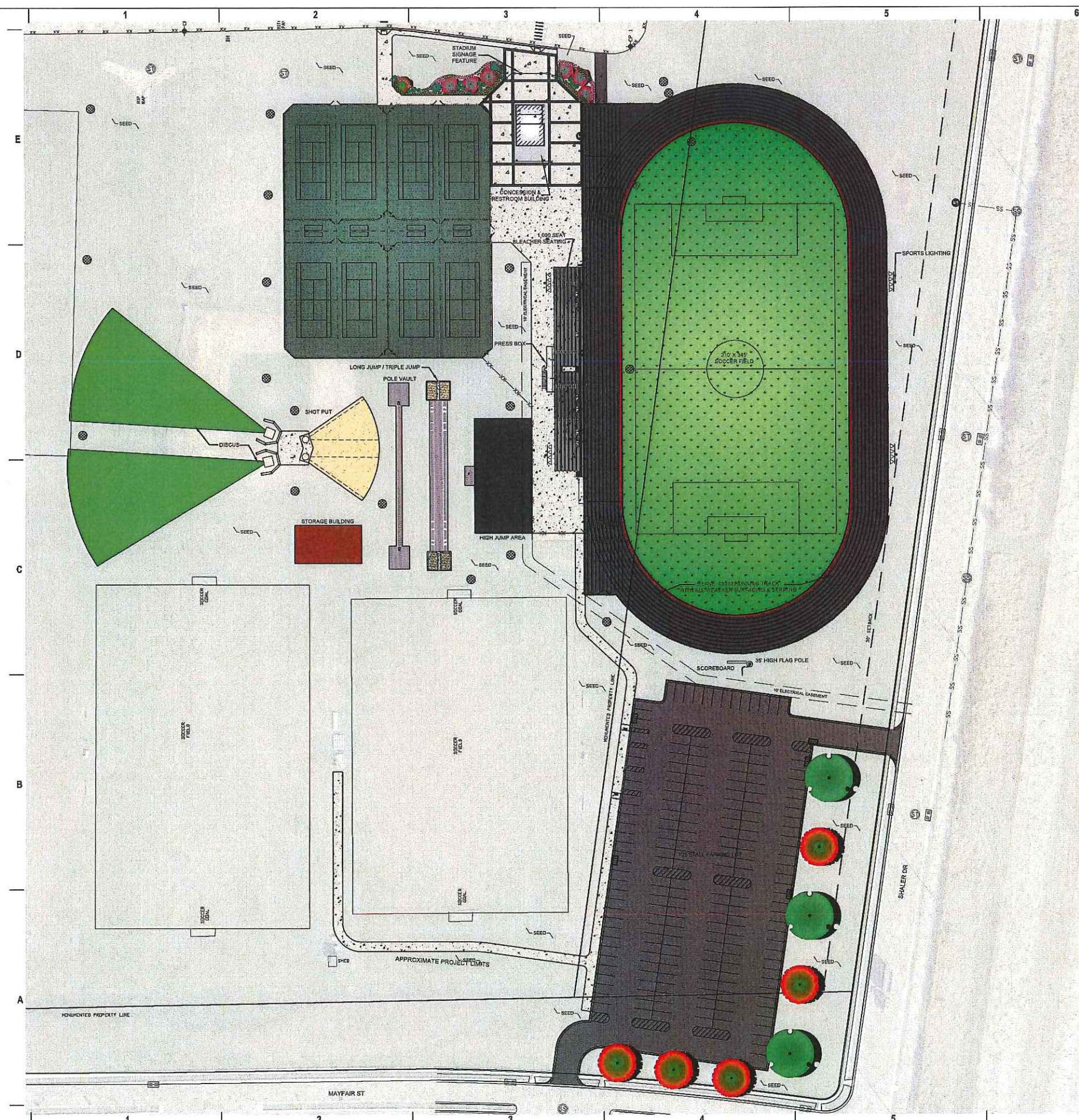
SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 316455-01
DATE 03/31/2017

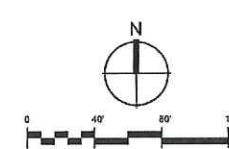
EXISTING SITE PLAN

C100

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- SITE LAYOUT - LEGEND**
- NATURAL TURF/500 ATHLETIC FIELD
- 6" SCREENED, AMENDED TOPSOIL
 - 3" HOT MIX ASPHALT TRACK / TENNIS COURT
- 10" BASE AGGREGATE DENSE, 3/4 INCH
 - 5" REINFORCED CONCRETE
- 6" BASE AGGREGATE DENSE, 3/4 INCH
 - 3.5" HOT MIX ASPHALT
- 12" BASE AGGREGATE DENSE, 1-1/4 INCH
 - 5" REINFORCED DECORATIVE CONCRETE W/
BANDING
- 4" BASE AGGREGATE DENSE, 3/4 INCH
 - STORM SEWER STRUCTURE
 - LANDSCAPING- SMALL
TREES, ORNAMENTAL
GRASSES, AND FLOWERING
PERENNIALS
 - SWAMP WHITE OAK
 - RED MAPLE



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PROJECT INFORMATION
**WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL**
801 E LINCOLN ST
WAUPUN WI 53963

ISSUANCE AND REVISIONS
**PLAN COMMISSION
REVIEW**

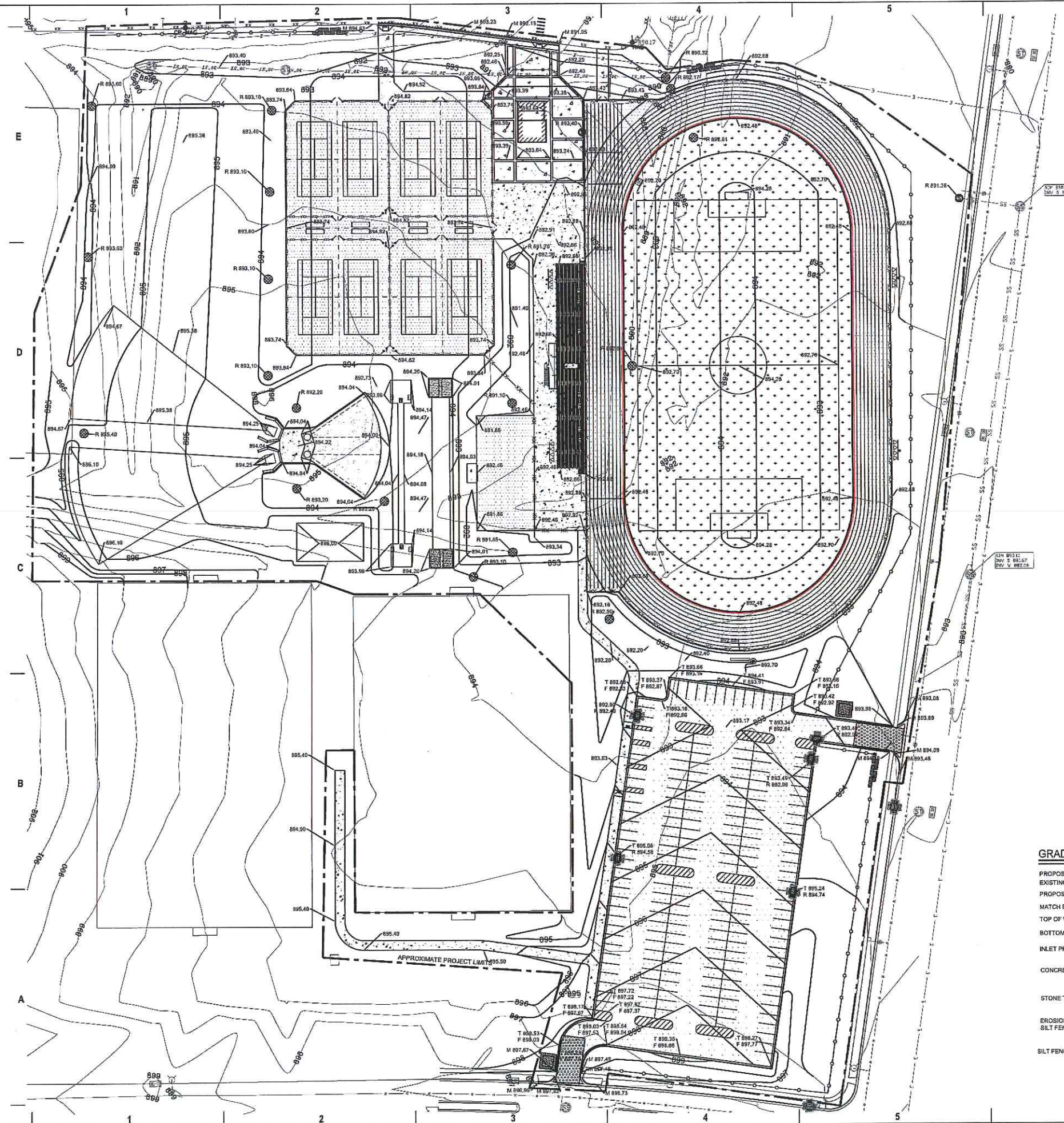
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	3/16/17	BD
	03/27/17	ADDENDUM NO. 1

KEY PLAN

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PROJECT MANAGER TW
PROJECT NUMBER 316455 - 01
DATE 03/31/2017

SITE LAYOUT PLAN
C300
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- GENERAL NOTES**
1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 3. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
 4. PLACE TYPE B INLET PROTECTION FABRIC UNDER THE PROPOSED AND EXISTING CATCH BASINS, MANHOLES, AND INLETS GRATES FOR THE DURATION OF CONSTRUCTION.
 5. REMOVE ANY ABANDONED UTILITIES WITHIN THE PROJECT LIMITS THAT INHIBIT CONSTRUCTION.
 6. ALL BIDDERS SUBMITTING A BID SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND REVIEW THE EXISTING OF FINAL GRADINGS.
 7. PLACE 6" OF TOPSOIL AND 500 ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS AND WITHIN 3 WORKING DAYS OF FINAL GRADING.
 8. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF GRASS IS ESTABLISHED IN ALL GENERAL LANDSCAPE AREAS, AND THEN REMOVED BY THE SITE CONTRACTOR.
 9. THE SITE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL ELEMENTS IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND THE LOCAL GOVERNING AUTHORITY'S REGULATIONS.
 10. INSPECT ALL EROSION CONTROL ELEMENTS WEEKLY OR AFTER STORM EVENTS OF 1/2" OF RAIN OR GREATER AND DOCUMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE NOTICE OF INTENT.
 11. ALL EROSION CONTROL METHODS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND MODIFIED AS DIRECTED BY THE PROJECT ENGINEER.
 12. ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
 13. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
 14. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR AT LEAST 2 DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
 15. BUILDING/PAVING PERMITS WILL BE WITHHELD UNTIL ALL INITIAL EROSION CONTROL PRACTICES ARE IMPLEMENTED AND APPROVED BY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR.
 16. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
 17. ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
 18. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER METHODS APPROVED BY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR.
 19. IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1ST OF THE NEXT CONSTRUCTION SEASON. PLACE SOIL BY NOVEMBER 15 IF WEATHER PERMITS. IF WEATHER DOES NOT PERMIT, PLACE EROSION CONTROL FABRIC. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REINSTALLED BY MAY 1 OR ONCE BARE GROUND IS VISIBLE AND FROST BEGINS TO COME OUT OF THE GROUND. SOIL STABILIZER NEEDS TO BE APPLIED TO AREAS OF BARE GROUND TO PREVENT PROBLEMS FROM DEVELOPING IN THE SPRING.
 20. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
 21. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
 22. ANY PROPOSED CHANGES TO THE APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE CITY.

CONSTRUCTION EROSION CONTROL SEQUENCE

CONSTRUCTION ACTIVITY	SCHEDULED CONTROL MEASURES	TIME FRAME
1. Construction Access - Construction Entrance, Construction Routes, and Equipment Parking Areas	First Land disturbing activity - Bare areas will be stabilized with gravel. Street overlying will be performed as necessary to remove sediment from private drive that lead to public streets.	1 Day & As Needed
2. Inlet Protection and Barriers -	Install Inlet Protection (Type D preferred) Units After Project Site is Accessed and Site Fence As Indicated On This Plan & Details.	2 Days
3. Runoff Conveyance System - Conspicuous Storm Sewer System	Stabilize Storm Drain, Inlet and Outlet Protection as Early As Possible. Install Inlet Protection during Storm Sewer Construction	2 Days
4. Land Clearing and Grading - Site Preparation, Clearing, Filling, Grading and Topsoil Stockpiles	Begin Major Clearing and Grading After Principal Erosion Control Practices Have Been Installed. Clear and Grade Only as Needed. Install Additional Measures as Necessary Such as Silt Fence or Sprayed Polymer Around Topsoil Stockpiles, Mark Trees and Buffer Areas For Preservation.	80 Days
5. Surface Stabilization of Steep Slopes - Notify Construction Manager/Engineer When Steep Grading Will Occur.	Install Sod On All Slopes 3:1 or greater.	3 Days
6. Athletic Field Construction - Concrete Curb Muller, Site Grade Work, Storm Water Utilities, Base and Finish Stone Installation	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	49 Days
7. Synthetic Turf Installation	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	17 Days
8. Track Construction - Dense Graded Base Course and Hot Mix Asphalt Trac	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	20 Days
9. Landscaping and Final Surface Stabilization - Topsoiling, Permanent Seeding, Mulching, Sodding, and Synthetic Turf, Trees and Shrubs	Apply Temporary or Permanent Stabilization Measures Immediately On All Disturbed Areas Where Work Is Delayed Or Complete.	
10. Winter Stabilization	Apply Sprayed Polymer Around Stockpiles and Open Areas Not Yet Stabilized. Monitor Per Supplier Recommendations.	

GRADING/ EROSION CONTROL LEGEND

PROPOSED CONTOURS — 100
EXISTING CONTOURS — 100
PROPOSED FINISH ELEVATION — 896.75
MATCH EXISTING ELEVATION — MATCH
TOP OF WALL ELEVATION — T 896.75
BOTTOM OF WALL ELEVATION — B 896.75
INLET PROTECTION — 1 CT04
CONCRETE WASH OUT AREA — 3 CT04
STONE TRACKING PAD — 2 CT04
EROSION CONTROL SILT FENCE — 5 CT04
SILT FENCE OUTLET — 4 CT04

0 40' 80' 120'

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PROJECT INFORMATION

WAUPUN JUNIOR / SENIOR HIGH SCHOOL

801 E LINCOLN ST
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ISSUANCE AND REVISIONS

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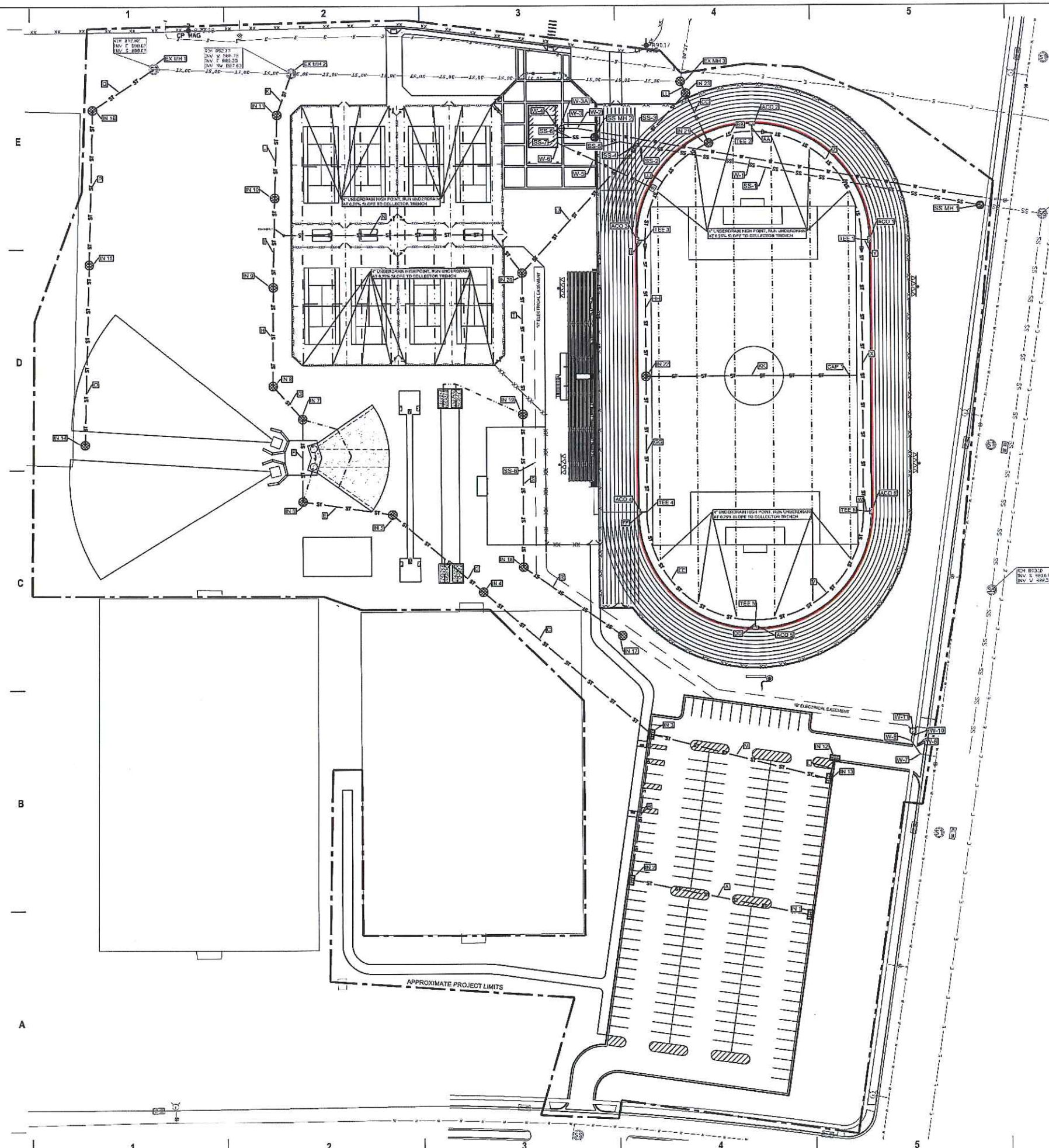
SHEET INFORMATION

PROJECT MANAGER TW
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DATE 03/31/2017

SITE GRADING & EROSION CONTROL PLAN

C400

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- 6 GENERAL NOTES**
1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 3. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
 4. STORM SEWER CONTRACTOR SHALL COORDINATE INSTALLATION OF SEWER PIPE WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
 5. COORDINATE ALL UTILITY RELOCATION WITH THE PROPER UTILITY COMPANY.
 6. STORM SEWER CONTRACTOR SHALL VERIFY ALL EXISTING STORM SEWER ELEVATIONS WHERE THE PROPOSED STORM SEWER IS DESIGNED TO CONNECT.
 7. SEE SPECIFICATIONS MANUAL FOR ALL PROPOSED ITEMS TO BE BID.
 8. PROVIDE ACCESS TO TRACER WIRE IN ALL MANHOLES & INLETS. SPLICED TRACER WIRE AT ALL PIPE "T" CONNECTIONS.
 9. PROVIDE A COMPLETE TRACER WIRE SYSTEM ON ALL NON-METALIC UTILITY PIPING SYSTEMS IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN PLUMBING CODE AND DETAILS CONTAINED IN THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

SITE UTILITIES - LEGEND

STORM SEWER STRUCTURE	ST	1.2
PROPOSED STORM SEWER PIPE	W-1	1.2
4" UNDERDRAIN	W	1.2
WATER LATERAL PIPE	SS-1	1.2
AIR RELEASE ASSEMBLY	SS	1.2
SANITARY LATERAL NUMBER	SS	1.2
SANITARY LATERAL PIPE	SS	1.2
SANITARY SEWER MANHOLE	SS	1.2
HOPE PIPE FITTING	SS	1.2
SEE PIPE SCHEDULE FOR SIZES	SS	1.2

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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

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SITE UTILITY PLAN

C500

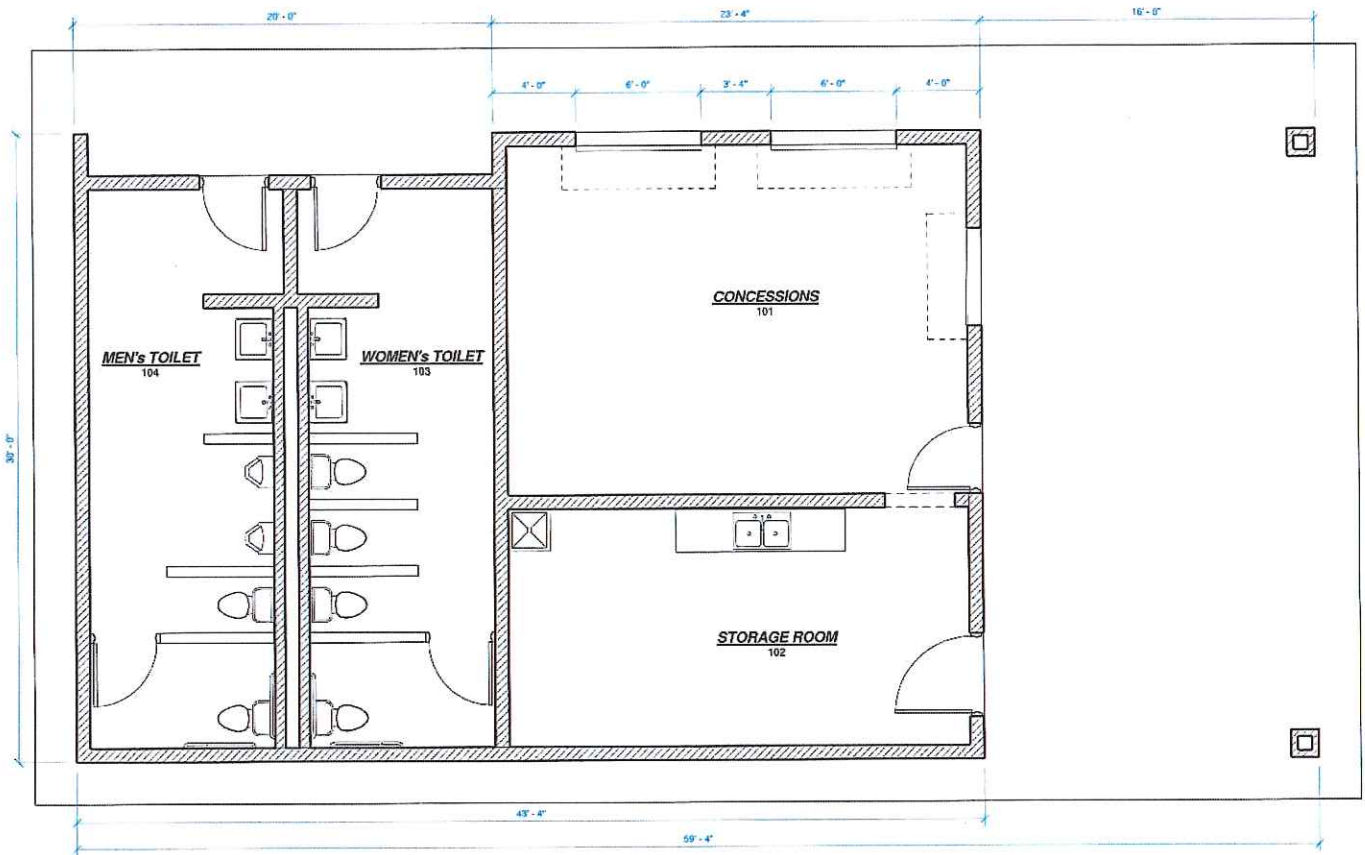
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MORPH DESIGNS, LLC
Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975
email:
morphdesigns@sbcglobal.net

PRELIMINARY

3-31-17 (city submittal)

WAUPUN AREA SCHOOL DISTRICT
NEW ATHLETIC FIELD CONCESSIONS BUILDING
FRANKLIN STREET
CITY OF WAUPUN, WISCONSIN



FLOOR PLAN

SCALE: 1/4" = 1'-0"



SHEET TITLE

FLOOR PLAN

PROJECT DATA

DATE:

JOB NUMBER:

SHEET NUMBER:

A-100

NOT FOR CONSTRUCTION

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3/29/2017 9:53:31 AM

MORPH DESIGNS, LLC
Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975
email:
morphdesigns@sbcglobal.net

PRELIMINARY

3-31-17 (city submittal)

WAUPUN AREA SCHOOL DISTRICT
NEW ATHLETIC FIELD CONCESSIONS BUILDING
FRANKLIN STREET
CITY OF WAUPUN, WISCONSIN

SHEET TITLE

ELEVATIONS

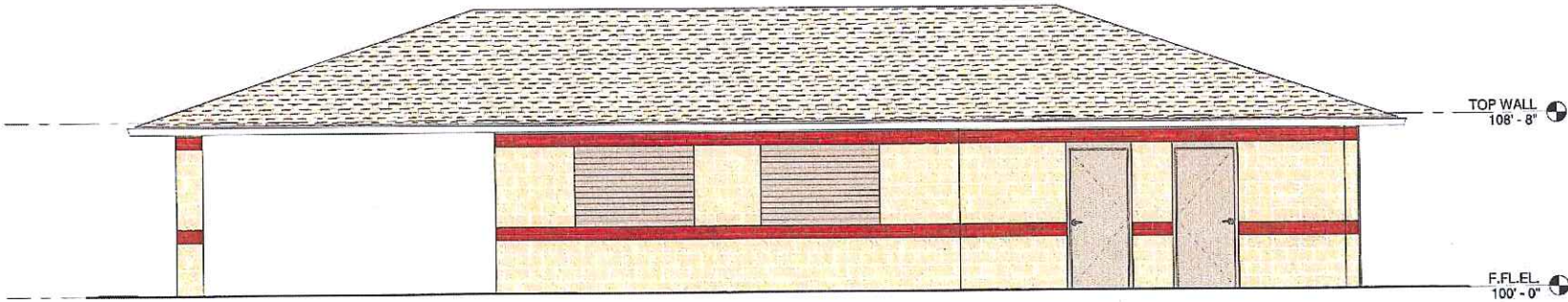
PROJECT DATA

DATE:

JOB NUMBER:

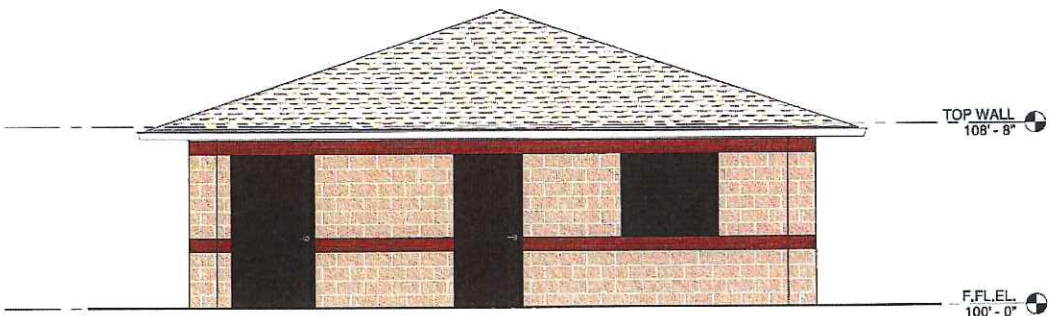
SHEET NUMBER:

A-200



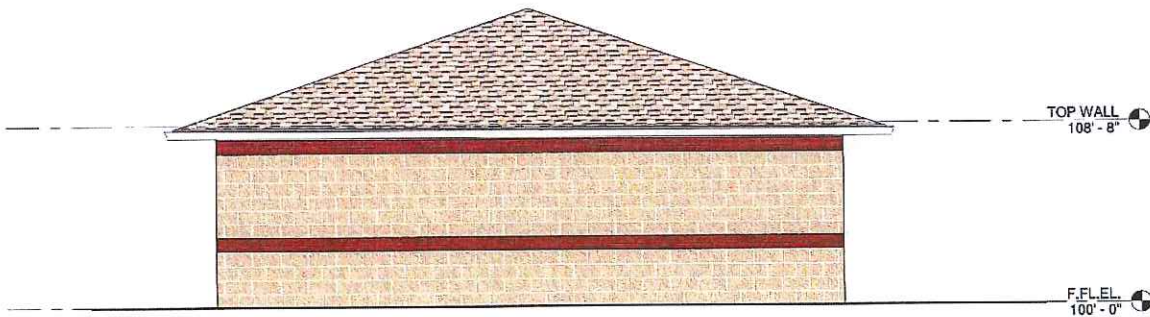
EAST BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



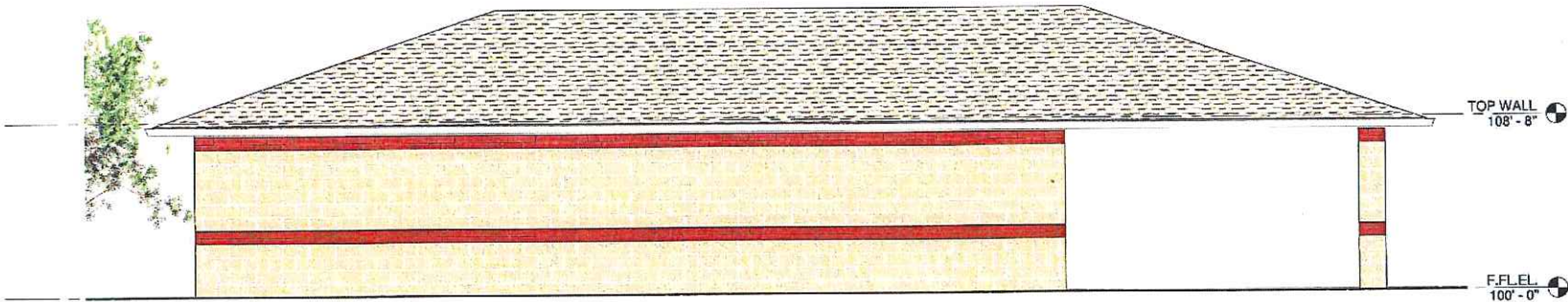
SOUTH BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



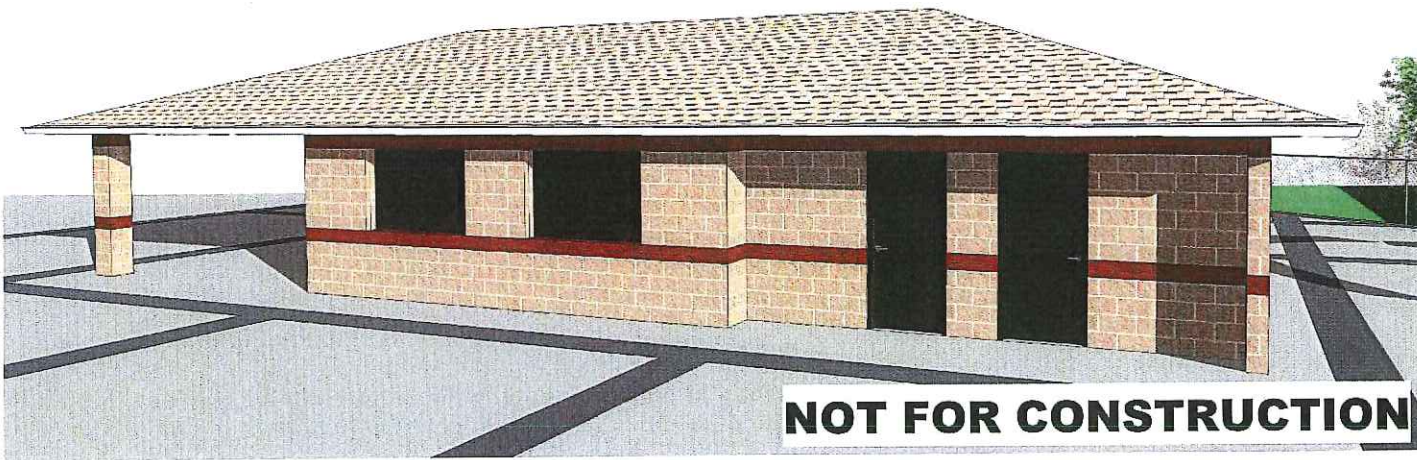
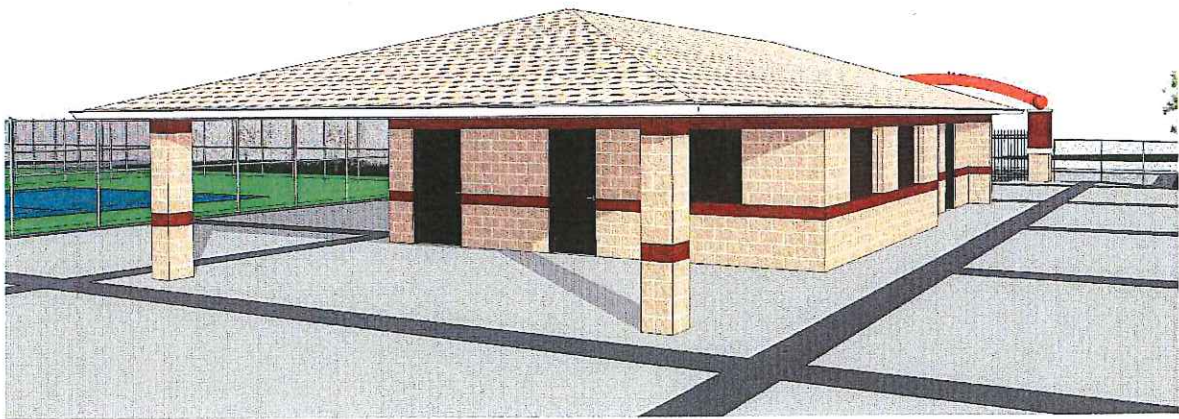
NORTH BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



WEST BUILDING ELEVATION

SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
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801 E LINCOLN ST
WAUPUN WI 53963

RETTLER
corporation
1717 Business Park Drive
Stevens Point, WI 54482
Phone: 715-341-0431
Fax: 715-341-0431

ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/16/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	03/16/2017

TITLE SHEET

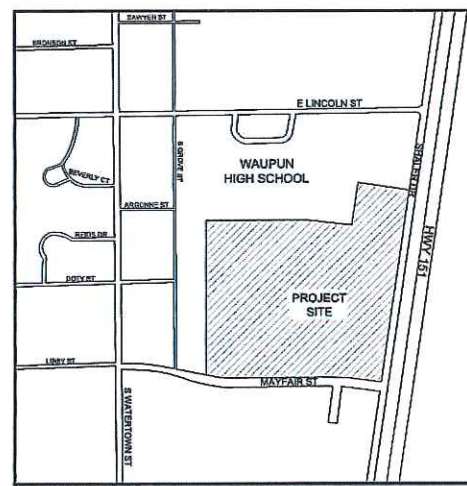
T100

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WAUPUN HIGH SCHOOL WAUPUN, WI

ATHLETIC COMPLEX PROJECT BID PACKAGE NO. 1 - 03.16.17

WAUPUN HIGH SCHOOL
801 E LINCOLN ST.
WAUPUN, WI 53963



RETTLER PROJECT #16,088
LOCATION MAP
WAUPUN, WISCONSIN
NOT TO SCALE



SHEET INDEX

T100	TITLE SHEET
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C400	SITE GRADING & EROSION CONTROL PLAN
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C501	SITE UTILITY SCHEDULES
C600	SITE LANDSCAPE PLAN
C601	SITE LANDSCAPE PLAN
C700	SITE CONSTRUCTION DETAILS
C701	SITE CONSTRUCTION DETAILS
C702	SITE CONSTRUCTION DETAILS
C703	SITE CONSTRUCTION DETAILS
C704	SITE CONSTRUCTION DETAILS
C705	SITE CONSTRUCTION DETAILS
C706	SITE CONSTRUCTION DETAILS
C707	SITE CONSTRUCTION DETAILS
S100	ATHLETIC BUILDING FOUNDATIONS
E100	SITE LAYOUT PLAN - ELECTRICAL
E101	PRESSBOX ELECTRICAL, DETAILS, AND SYMBOLS LIST
E200	DETAILS AND RISER DIAGRAM
E201	DETAILS AND ONE LINE DIAGRAM
E202	DETAILS AND ENLARGED PLANS
E300	SOUND SYSTEM PLAN AND RISER DIAGRAMS



- LEGEND**
- These standard symbols will be found in the drawing.
- LIGHT POLE
 - POWER POLE
 - GYW WIRE
 - ELECTRICAL JUNCTION BOX
 - TELEPHONE PEDESTAL
 - ELECTRICAL MANHOLE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - TELEPHONE MANHOLE
 - WATER MANHOLE
 - UTILITY MANHOLE
 - CATCH BASIN
 - CATCH BASIN
 - CATCH BASIN
 - WATER VALVE
 - HYDRANT
 - 1/4" IRON PIPE FOUND
 - 1/2" IRON BAR FOUND
 - 1/4" RE-BAR FOUND
 - COMPUTED PROPERTY CORNER
 - 1/4" RE-BAR SET
 - HARRISON MONUMENT FOUND
 - CONTROL POINT
 - SOIL BORING LOCATION
 - 3" H CHAINLINK FENCE
 - 6" H CHAINLINK FENCE
 - 8" H ORNAMENTAL FENCE
 - SANITARY SEWER
 - STORM SEWER
 - POWER OVERHEAD
 - BURIED ELECTRIC
 - BURIED GAS
 - BURIED TELEPHONE
 - WATERMAIN
 - FIBER OPTICS
 - IRRIGATION PIPE
 - EDGE OF BITUMINOUS
 - FLAG POLE
 - DECIDUOUS TREE
 - EVERGREEN TREE
 - BUSH/SHRUB
 - ELECTRIC METER
 - GAS METER
 - GAS VALVE
 - CONTOUR LINE
 - SPOT ELEVATION
 - SIGN
 - SPIRINKLER HEAD
 - ELECTRIC OUTLETS
 - PLAY EQUIPMENT
 - POLE / POST
 - ROCKS
 - BASKETBALL HOOP
 - IRRIGATION BOX

PROPERTY DESCRIPTION

LOCATED IN THE SW 1/4 OF SECTION 4, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED BY OTHERS-LOCATIONS ARE APPROXIMATE.

FIELD VERIFY EXISTING SANITARY AND STORM SEWER PIPE SIZES AND THEIR LOCATIONS.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGERS HOTLINE (TICKET # 20170504251, 20170504255, & 20170504257)

PRIVATE UTILITY LOCATE WAS DONE BY AA PRIVATE LINES ON 12-27-2012.

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF A TOPOGRAPHICAL SURVEY AS MADE BY ME ON 01/18/2013, AND 02/15/2017.

DATED THIS 30TH DAY OF MARCH, 2017

SIGNED: *Aaron Parks*
AARON PARKS, PLS #2881

BENCHMARKS

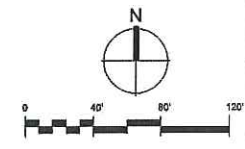
ELEVATIONS BASED ON: NAVD 88 WITH W1 GEOID 12A USING WISCONSIN

BM #1
BURY BOLT OF HYDRANT, LOCATED ON SOUTH SIDE OF ASPHALT DRIVE, ON SOUTH SIDE OF HIGH SCHOOL.
ELEVATION = 886.25'

SURVEY CONTROL POINTS

COORDINATE SYSTEM BASED ON: NAD 83 (2011) USING DODGE COUNTY COORDINATES USING WISCONSIN CONTINUOUSLY OPERATING REFERENCE STATIONS

CP #1 N: 784619.33 E: 878891.94 Z: 890.17 CP: MAG	CP #2 N: 784636.81 E: 878423.51 Z: 895.38 CP: MAG
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PROJECT INFORMATION

WAUPUN JUNIOR / SENIOR HIGH SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963

RETTLER corporation

2017 Waupun, WI, Project No. 17-001
Issued: 03/16/2017
A small fee is charged for each set, outside of our office.

ISSUANCE AND REVISIONS

PLAN COMMISSION REVIEW

#	DATE	DESCRIPTION
1	3/16/17	BID

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER TW

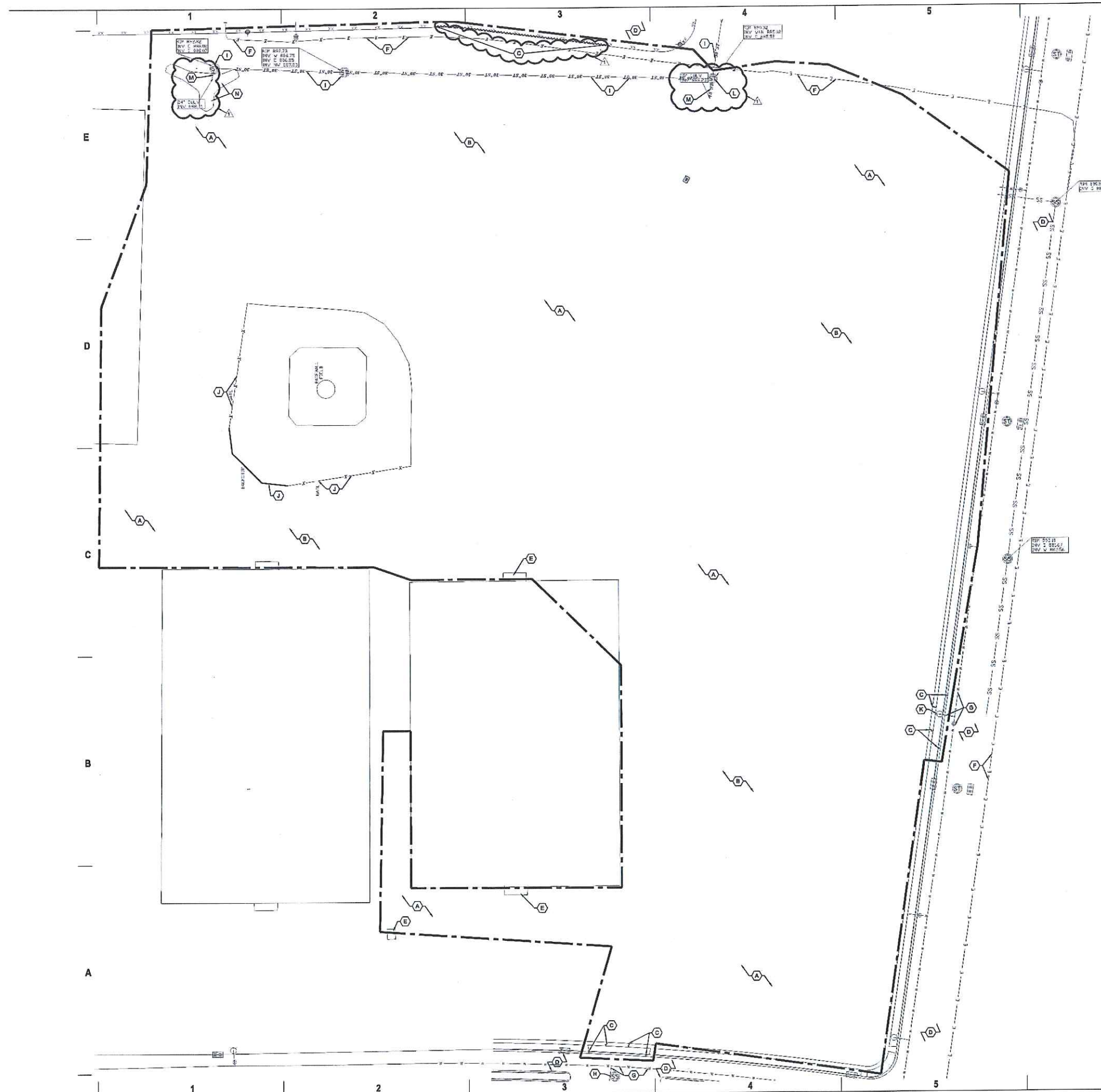
PROJECT NUMBER 316455-01

DATE 03/13/2017

EXISTING SITE PLAN

C100

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GENERAL NOTES

1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO START OF DEMOLITION/CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. COORDINATE SITE CONSTRUCTION ACCESS WITH OWNER PRIOR TO START OF CONSTRUCTION.
4. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
5. REMOVE ONLY THE EXISTING TREES AND VEGETATION, WITHIN THE PROJECT LIMITS THAT INHIBIT CONSTRUCTION.
6. REMOVE ANY ABANDONED UTILITIES WITHIN THE PROJECT LIMITS THAT INHIBIT CONSTRUCTION.
7. ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE. ANY DISCREPANCIES FOUND ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT FOR REVIEW IMMEDIATELY UPON DISCOVERY.
8. ALL ITEMS TO BE REMOVED AND DISPOSED OF SHALL BE TAKEN FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
9. ALL ITEMS TO BE SALVAGED SHALL BE COORDINATED WITH THE OWNER.
10. VERIFY ALL REMOVAL AND SALVAGE ITEMS WITH THE OWNER.
11. ALL SITE ENTITIES OUTSIDE THE PROJECT LIMIT LINE SHALL NOT BE DISTURBED.
12. ALL AREAS AND SITE FEATURES DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO THE ORIGINAL CONDITION.
13. BASE BID SITE ACCESS MAINTENANCE AND RESTORATION SHALL BE INCLUDED IN BASE BID 'A'.
14. ALL EXISTING FIELD UNDERDRAIN AND INLETS ENCOUNTERED NOT SHOWN ON PLAN ARE TO BE MAINTAINED AND CONNECTED TO THE CLOSEST EXISTING STORM SEWER STRUCTURE OR PIPE AS PART OF CONTRACT 'A' - BASE BID.

SITE DEMOLITION - KEY NOTES

- (A) STRIP AND STOCKPILE TOPSOIL ON SITE. DELIVER EXCESS TOPSOIL TO VETERANS FIELD.
- (B) CLEAR & GRUB EXISTING TREES/VEGETATION.
- (C) SAWCUT PAVEMENT.
- (D) PROTECT & MAINTAIN EXISTING HARD SURFACE. REMOVE & REPLACE DAMAGED HARD SURFACE AT CONTRACTORS EXPENSE.
- (E) PROTECT AND MAINTAIN EXISTING FEATURES.
- (F) MAINTAIN EXISTING ELECTRICAL UTILITIES. PROCEED WITH CAUTION WHEN WORKING AROUND UNDERGROUND UTILITIES.
- (G) MAINTAIN EXISTING WATER UTILITIES. PROCEED WITH CAUTION WHEN WORKING AROUND UNDERGROUND UTILITIES.
- (H) MAINTAIN EXISTING SANITARY UTILITIES. PROCEED WITH CAUTION WHEN WORKING AROUND UNDERGROUND UTILITIES.
- (I) MAINTAIN EXISTING STORM WATER UTILITIES. PROCEED WITH CAUTION WHEN WORKING AROUND UNDERGROUND UTILITIES.
- (J) BACKSTOP AND FENCING REMOVED BY OWNER.
- (K) REMOVE & RELOCATE EXISTING HYDRANT.
- (L) REMOVE & REPLACE EXISTING STORM MANHOLE (SEE C500 & C501).
- (M) REMOVE EXISTING STORM WATER UTILITIES.
- (N) REMOVE EXISTING FEATURES.



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963



ISSUANCE AND REVISIONS

BID DOCUMENTS

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KEY PLAN

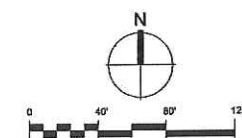
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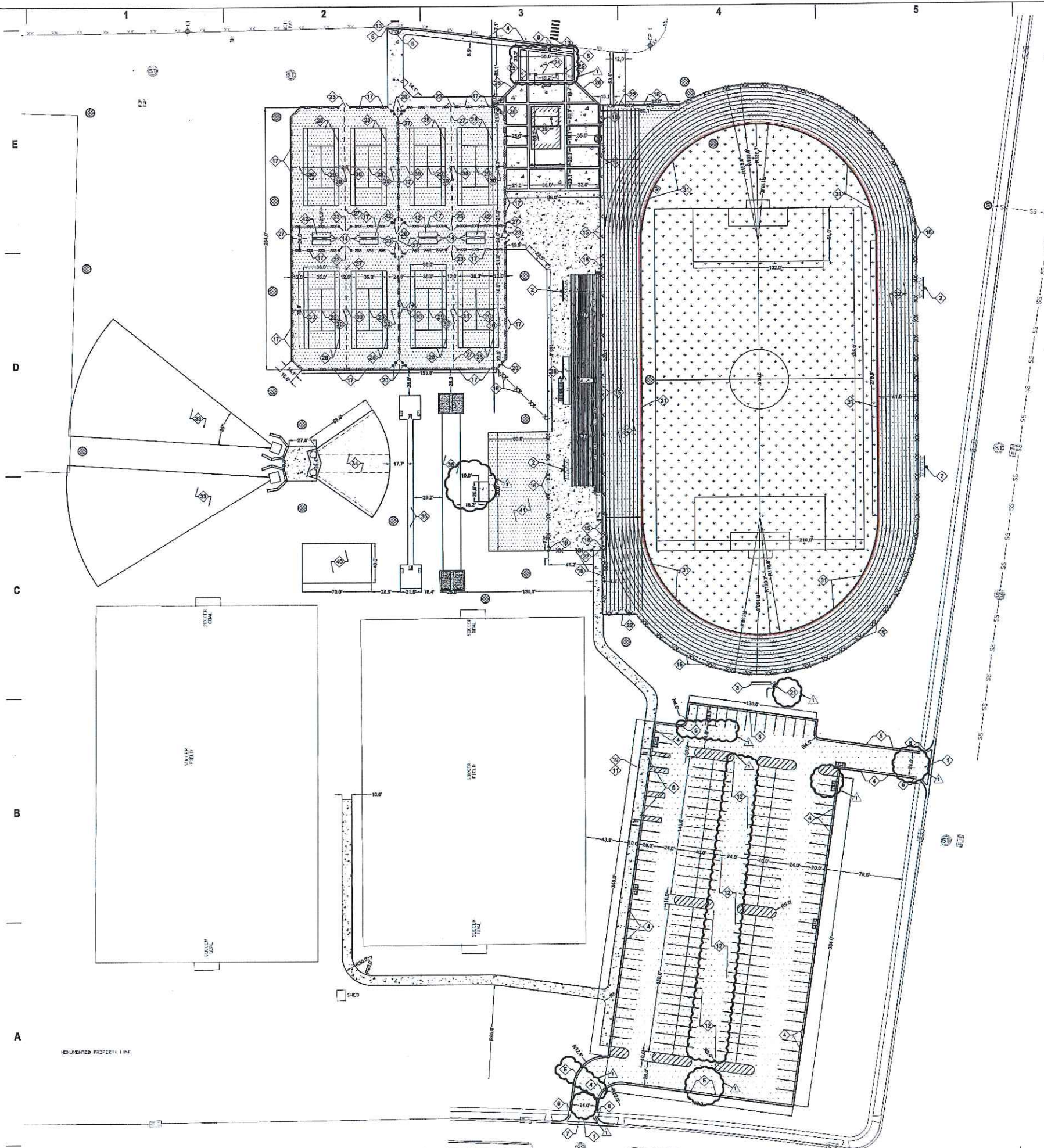
PROJECT MANAGER TW
PROJECT NUMBER 316455-01
DATE 03/16/2017

SITE DEMOLITION PLAN

C200

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GENERAL NOTES

1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 8 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
4. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
5. TOPSOIL, SEED AND FERTILIZE ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
6. ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID.
7. CURB ALONG THE STREET SHALL BE THE SAME SIZE AS EXISTING STREET CURB. TRANSITION TO 30" CURB AT PARKING LOT ENTRANCES.

SITE LAYOUT - LEGEND

- NATURAL TURF/SOD ATHLETIC FIELD
- 6" SCREENED, AMENDED TOPSOIL
- 3" HOT MIX ASPHALT TRACK / TENNIS COURT
- 10" BASE AGGREGATE DENSE, 3/4 INCH
- 5" REINFORCED CONCRETE
- 5" BASE AGGREGATE DENSE, 3/4 INCH
- 3.5" HOT MIX ASPHALT
- 12" BASE AGGREGATE DENSE, 1-1/4 INCH
- 5" REINFORCED DECORATIVE CONCRETE W/
BANDING
- 6" BASE AGGREGATE DENSE, 3/4 INCH
- ACO SLOT DRAIN
- S.F.S. - TC-3700-QVC PLUS -
QUICK CONNECT VALVE BOX

SITE LAYOUT - KEY NOTES

- 1 SITE ACCESS
- 2 SPORTS LIGHTING (BY OTHERS - SEE ELECTRICAL PLANS)
- 3 SCOREBOARD (BY OTHERS - SEE ELECTRICAL PLANS)
- 4 ACCEPTING 24" CURB AND GUTTER
- 5 REJECTING 24" CURB AND GUTTER
- 6 CURB TERMINUS
- 7 DRIVEWAY CURB CUT DETAILS
- 8 STANDARD ADA CURB RAMP
- 9 TYPE 7A ADA CURB RAMP
- 10 VAN ACCESSIBLE PARKING SIGN
- 11 SIGN POST BOX OUT
- 12 PAVEMENT STRIPING
- 13 CROSSWALK STRIPING
- 14 BLEACHERS (J W INDUSTRIES 32 CAPACITY BLEACHER, MODEL #3918A-3)
- 15 4" H VINYL COATED CHAIN LINK FENCING
- 16 6" H VINYL COATED CHAIN LINK FENCING
- 17 10" H VINYL COATED CHAIN LINK FENCING
- 18 4' W X 4' H VINYL COATED PEDESTRIAN GATE
- 19 4' W X 6' H VINYL COATED PEDESTRIAN GATE
- 20 4' W X 10' H VINYL COATED PEDESTRIAN GATE
- 21 35' HIGH FLAG POLE
- 22 12' W X 6' H VINYL COATED SERVICE GATE
- 23 12' W X 10' H VINYL COATED SERVICE GATE
- 24 STADIUM SIGNAGE FEATURE
- 25 DECORATIVE MASONRY COLUMNS
- 26 6" H DECORATIVE FENCING
- 27 2" TENNIS COURT SAWCUT
- 28 TENNIS COURT STRIPING & SURFACING
- 29 TENNIS NET CENTER STRAP ANCHOR
- 30 TENNIS NET POST FOUNDATION
- 31 ACO SERIES 3000 CHANNEL DRAIN
- 32 9 LANE, 400 M RUNNING TRACK W. ALL WEATHER SURFACING & STRIPING
- 33 DISCUS PAD & CAGE LAYOUT (CUSTOM 8 POLE SYSTEM)
- 34 SHOT PUT LAYOUT AND PAD
- 35 LONG JUMP / TRIPLE JUMP LAYOUT
- 36 POLE VAULT LAYOUT
- 37 1,000 SEAT BLEACHER SEATING
- 38 PRESS BOX
- 39 CONCESSION / RESTROOM BUILDING (BY OTHERS)
- 40 STORAGE BUILDING (BY OWNER)
- 41 HIGH JUMP AREA
- 42 SHADE STRUCTURE (POLYDOME DTR 12' W X 18' L DOUBLE TREE FABRIC SHADE STRUCTURE)

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ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
	3/18/17	BID
A	03/27/17	ADDENDUM NO. 1

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER TW

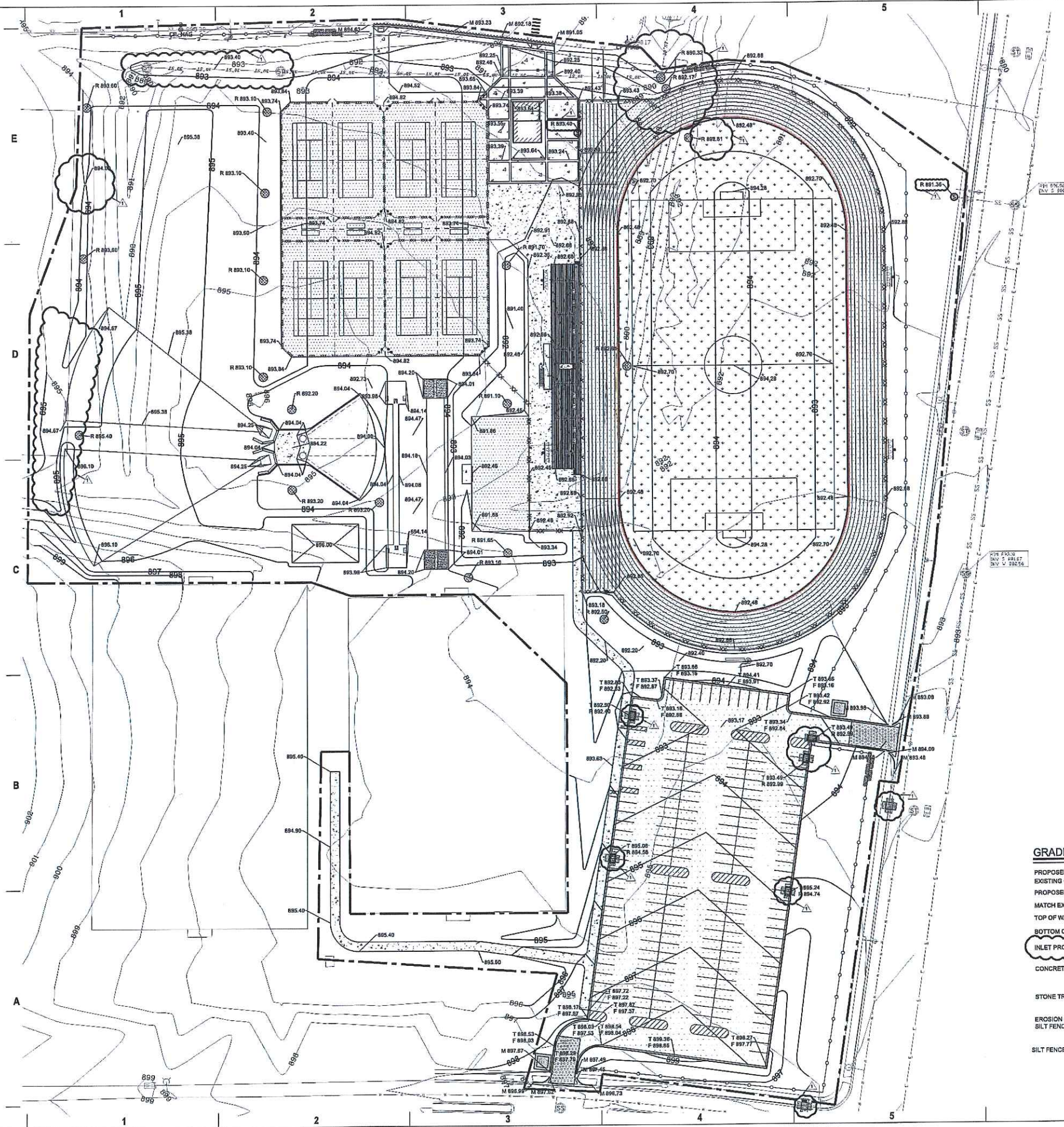
PROJECT NUMBER 316455 - 01

DATE 03/16/2017

SITE LAYOUT PLAN

C300

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GENERAL NOTES

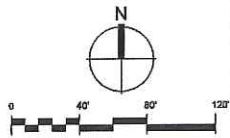
1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
4. PLACE TYPE B INLET PROTECTION FABRIC UNDER THE PROPOSED AND EXISTING CATCH BASINS, MANHOLES, AND INLETS GRATES FOR THE DURATION OF CONSTRUCTION.
5. REMOVE ANY ABANDONED UTILITIES WITHIN THE PROJECT LIMITS THAT INHIBIT CONSTRUCTION.
6. ALL BIDDERS SUBMITTING A BID SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND REVIEW THE EXISTING OF FINAL GRADING.
7. PLACE 8" OF TOPSOIL AND SOD ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS AND WITHIN 5 WORKING DAYS OF FINAL GRADING.
8. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF GRASS IS ESTABLISHED IN ALL GENERAL LANDSCAPE AREAS, AND THEN REMOVED BY THE SITE CONTRACTOR.
9. THE SITE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL ELEMENTS IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND THE LOCAL GOVERNING AUTHORITY'S REGULATIONS.
10. INSPECT ALL EROSION CONTROL ELEMENTS WEEKLY OR AFTER STORM EVENTS OF 1/2" OF RAIN OR GREATER AND DOCUMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE NOTICE OF INTENT.
11. ALL EROSION CONTROL METHODS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND MODIFIED AS DIRECTED BY THE PROJECT ENGINEER.
12. ALL WASTE AND UNUSED BUILDING MATERIALS SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
14. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR AT LEAST 2 DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
15. BUILDING/PAVING PERMITS WILL BE WITHHELD UNTIL ALL INITIAL EROSION CONTROL PRACTICES ARE IMPLEMENTED AND APPROVED BY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR.
16. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
17. ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
18. DISTURBED GROUND OUTSIDE OF THE EVERDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER METHODS APPROVED BY THE LOCAL GOVERNING AUTHORITY'S EROSION CONTROL INSPECTOR.
19. IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION/LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1ST OF THE NEXT CONSTRUCTION SEASON. PLACE SOD BY NOVEMBER 15 IF WEATHER PERMITS, IF WEATHER DOES NOT PERMIT, PLACE EROSION CONTROL FABRIC. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REINSTALLED BY MAY 1 OR ONCE BARE GROUND IS VISIBLE AND FROST BEGINS TO COME OUT OF THE GROUND. SOIL STABILIZER NEEDS TO BE APPLIED TO AREAS OF BARE GROUND TO PREVENT PROBLEMS FROM DEVELOPING IN THE SPRING.
20. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
21. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
22. ANY PROPOSED CHANGES TO THE APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE CITY.

CONSTRUCTION EROSION CONTROL SEQUENCE

CONSTRUCTION ACTIVITY	SCHEDULED CONTROL MEASURES	TIME FRAME
1. Construction Access - Construction Entrance, Construction Routes, and Equipment Parking Areas	First Land disturbing activity - Bare areas will be stabilized with gravel. Street sweeping will be performed as necessary to remove sediment from private drive that lead to public streets.	1 Day & As Needed
2. Inlet Protection and Barriers -	Install Inlet Protection (Type D Preferred) Units After Project Site Is Accessed and Silt Fence As Indicated On This Plan & Details.	2 Days
3. Runoff Conveyance System - Construct Storm Sewer System	Stabilize Storm Drains, Inlet and Outlet Protection as Early As Possible. Install Inlet Protection during Storm Sewer Construction	2 Days
4. Land Clearing and Grading - Site Preparation, Cutting, Filling, Grading and Topsoil Stockpiles	Begin Major Clearing and Grading After Principal Erosion Control Practices Have Been Installed. Clear and Grade Only as Needed. Install Additional Measures as Necessary Such as Silt Fence or Sprayed Polymer Around Topsoil Stockpiles. Mark Trees and Buffer Areas For Preservation.	80 Days
5. Surface Stabilization of Steep Slopes - Notify Construction Manager/Engineer When Steep Grading Will Occur.	Install Sod On All Slopes 3H:1V or greater.	3 Days
6. Athletic Field Construction - Concrete Curb Nailer, Sub Grade Work, Storm Water Utilities, Base and Finish Stone Installation	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	48 Days
7. Synthetic Turf Installation	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	17 Days
8. Truck Construction - Dismant Graded Base Course and Hot Mix Asphalt Truck	Install Necessary Practices Outlined Above Before Work Takes Place. Stabilize Pavement Subgrade Soils With Base Course.	20 Days
9. Landscaping and Final Surface Stabilization - Topsoiling, Permanent Seeding, Mulching, Sodding, and Synthetic Turf, Trees and Shrubs	Apply Temporary or Permanent Stabilization Measures Immediately On All Disturbed Areas Where Work Is Delayed Or Complete.	
10. Winter Stabilization	Apply Sprayed Polymer Around Stockpiles and Open Areas Not Yet Stabilized. Monitor Per Supplier Recommendations.	

GRADING/ EROSION CONTROL LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED FINISH ELEVATION
- MATCH EXISTING ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- INLET PROTECTION
- CONCRETE WASH OUT AREA
- STONE TRACKING PAD
- EROSION CONTROL SILT FENCE
- SILT FENCE OUTLET



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PROJECT INFORMATION

WAUPUN JUNIOR / SENIOR HIGH SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963

RETTLER corporation

2017 Rottler Road, Waupun, WI 53983
P.O. Box 100, Waupun, WI 53983
a unit of the rettlers group, inc. www.retters.com

ISSUANCE AND REVISIONS

#	DATE	DESCRIPTION
1	3/16/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

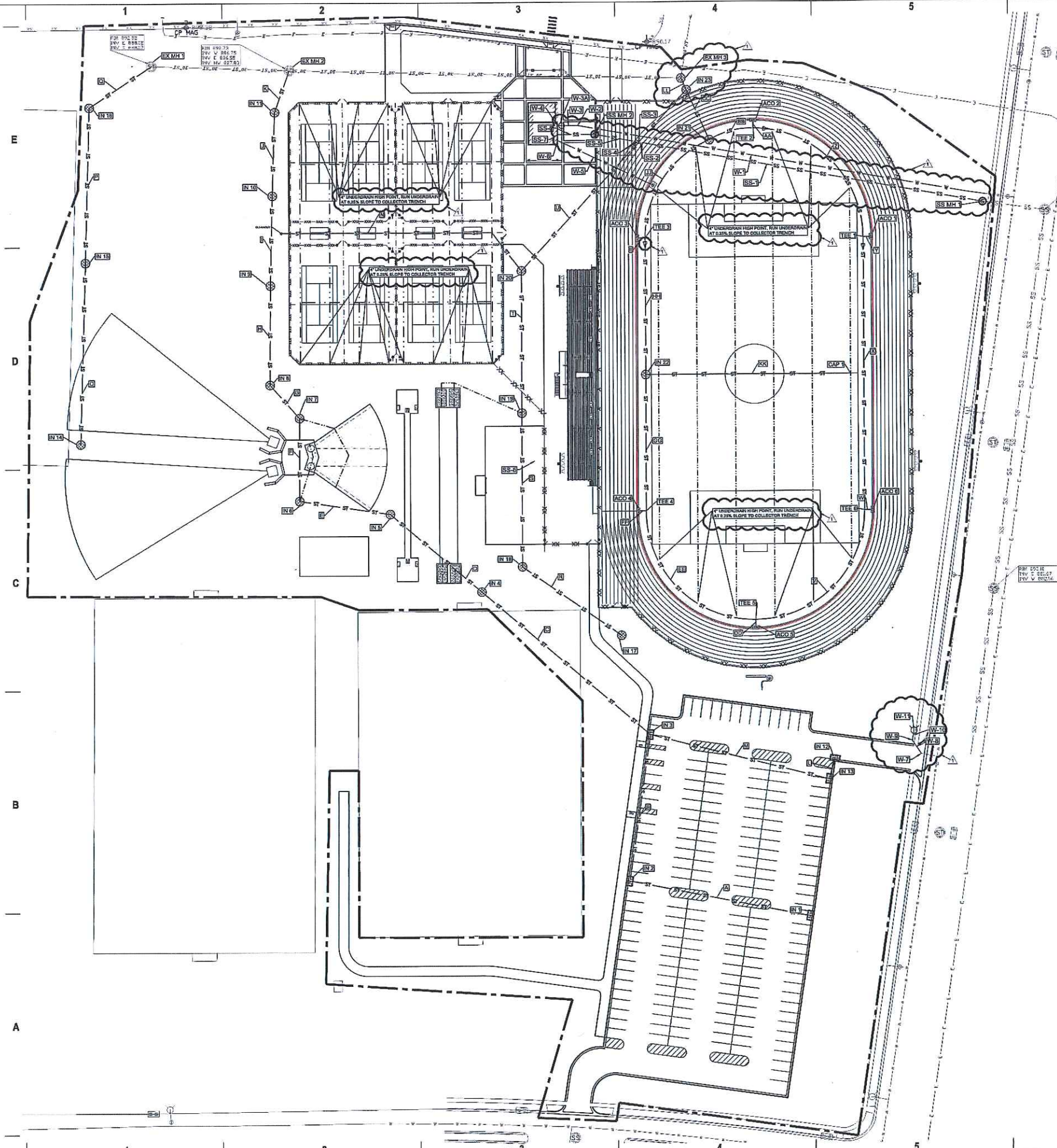
SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	03/16/2017

SITE GRADING & EROSION CONTROL PLAN

C400

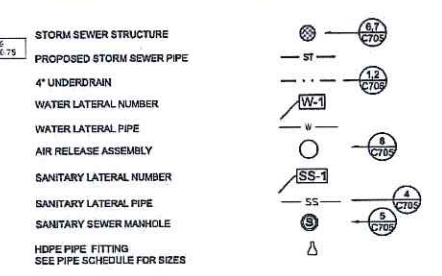
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6 GENERAL NOTES

1. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE & WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
4. STORM SEWER CONTRACTOR SHALL COORDINATE INSTALLATION OF SEWER PIPE WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
5. COORDINATE ALL UTILITY RELOCATION WITH THE PROPER UTILITY COMPANY.
6. STORM SEWER CONTRACTOR SHALL VERIFY ALL EXISTING STORM SEWER ELEVATIONS WHERE THE PROPOSED STORM SEWER IS DESIGNED TO CONNECT.
7. SEE SPECIFICATIONS MANUAL FOR ALL PROPOSED ITEMS TO BE BID.
8. PROVIDE ACCESS TO TRACER WIRE IN ALL MANHOLES & INLETS. SPLICE TRACER WIRE AT ALL PIPE "T" CONNECTIONS.
9. PROVIDE A COMPLETE TRACER WIRE SYSTEM ON ALL NON-METALIC UTILITY PIPING SYSTEMS IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN PLUMBING CODE AND DETAILS CONTAINED IN THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

SITE UTILITIES - LEGEND



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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
	3/18/17	BID
1	03/27/17	ADDENDUM NO. 1

KEY PLAN

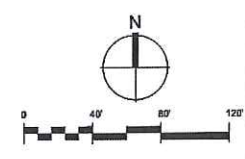
SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	03/18/2017

SITE UTILITY PLAN

C500

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SITE UTILITIES - INLET SCHEDULE

IN #1 RIM 894.74 INV. (W) 891.40 SUMP 2.00 DEPTH 5.35' 48" CONCRETE MANHOLE NEENAH R-3067 TYPE A GRATE	IN #2 RIM 894.68 INV. (E) 890.85 INV. (N) 890.61 SUMP 2.00 DEPTH 5.88' 48" CONCRETE MANHOLE NEENAH R-3067 TYPE A GRATE	IN #3 RIM 893.40 INV. (E) 890.17 INV. (S) 890.17 INV. (NW) 889.42 SUMP 2.00 DEPTH 4.98' TYPE 3 CONC. STRUCTURE NEENAH R-3067 TYPE A GRATE	IN #4 RIM 893.40 INV. (NW) 888.75 INV. (SE) 888.75 SUMP 0.50 DEPTH 4.85' 24" MODULAR HDPE BASIN STANDARD GRATE	IN #5 RIM 893.20 INV. (W) 888.38 INV. (SE) 888.38 SUMP 0.50 DEPTH 5.32' 30" MODULAR HDPE BASIN STANDARD GRATE
IN #6 RIM 893.20 INV. (E) 888.10 INV. (N) 888.10 4" INV. (NE) 888.20 SUMP 0.50 DEPTH 5.88' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #7 RIM 892.20 INV. (NW) 887.85 INV. (S) 887.85 4" INV. (E) 887.95 SUMP 0.50 DEPTH 4.88' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #8 RIM 893.10 INV. (N) 887.72 INV. (SE) 887.72 SUMP 0.50 DEPTH 6.88' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #9 RIM 893.10 INV. (N) 887.41 INV. (S) 887.41 SUMP 0.50 DEPTH 6.19' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #10 RIM 893.10 INV. (N) 887.14 INV. (S) 887.14 SUMP 0.50 DEPTH 6.40' 30" MODULAR HDPE BASIN STANDARD GRATE
IN #11 RIM 893.10 INV. (N) 886.89 INV. (S) 886.89 SUMP 0.50 DEPTH 6.72' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #12 RIM 892.99 INV. (S) 890.92 SUMP 2.00 DEPTH 4.07' TYPE 3 CONC. STRUCTURE NEENAH R-3067 TYPE A GRATE	IN #13 RIM 892.99 INV. (E) 890.36 INV. (SE) 890.88 SUMP 2.00 DEPTH 4.63' TYPE 3 CONC. STRUCTURE NEENAH R-3067 TYPE A GRATE	IN #14 RIM 895.40 INV. (N) 890.95 SUMP 0.50 DEPTH 4.89' 12" MODULAR HDPE BASIN STANDARD GRATE	IN #15 RIM 893.60 INV. (N) 889.78 INV. (S) 890.03 SUMP 0.50 DEPTH 4.32' 15" MODULAR HDPE BASIN STANDARD GRATE
IN #16 RIM 893.60 INV. (NE) 888.83 INV. (S) 888.83 SUMP 0.50 DEPTH 5.27' 18" MODULAR HDPE BASIN STANDARD GRATE	IN #17 RIM 892.50 INV. (NW) 887.55 INV. (N) 887.18 SUMP 0.50 DEPTH 5.45' 24" MODULAR HDPE BASIN STANDARD GRATE	IN #18 RIM 891.65 INV. (SE) 887.18 INV. (N) 887.18 SUMP 0.50 DEPTH 4.97' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #19 RIM 891.10 INV. (N) 886.71 INV. (S) 886.71 4" INV. (NW) 886.80 SUMP 0.50 DEPTH 4.85' 30" MODULAR HDPE BASIN STANDARD GRATE	IN #20 RIM 891.70 INV. (S) 888.28 INV. (NE) 888.28 INV. (NW) 885.40 SUMP 0.50 DEPTH 5.98' 60" CONCRETE MANHOLE NEENAH R-2050 TYPE D GRATE
IN #21 RIM 892.61 INV. (SW) 886.23 INV. (NE) 886.23 INV. (NW) 885.73 SUMP 0.50 DEPTH 7.38' 30" MODULAR HDPE BASIN SOLID LID	IN #22 RIM 892.61 INV. (N) 887.67 INV. (SW) 887.67 INV. (E) 887.67 SUMP 0.50 DEPTH 5.18' 15" MODULAR HDPE BASIN SOLID LID	IN #23 RIM 892.17 INV. (NW) 885.53 INV. (SW) 885.53 INV. (SE) 885.55 SUMP 0.50 DEPTH 7.14' 64" CONCRETE MANHOLE NEENAH R-2050 TYPE D GRATE	EX MH #1 RIM 892.82 INV. (SW) 888.07 INV. (E) 888.02 INV. (S) 888.07 SUMP 0.50 DEPTH 4.85' REPLACE LID WITH TYPE D GRATE	EX MH #2 RIM 892.73 INV. (SW) 886.75 INV. (W) 886.75 INV. (E) 886.55 INV. (NW) 887.83 SUMP 0.50 DEPTH 5.18' REPLACE LID WITH TYPE D GRATE
EX MH #3 RIM 890.32 INV. (SE) 888.49 INV. (W) 885.02 INV. (N) 885.02 DEPTH 5.30' 72" CONCRETE MANHOLE NEENAH R-2050 TYPE D GRATE	ACO #1 RIM 892.48 INV. (W) 890.84 DEPTH 1.64' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN	ACO #2 RIM 892.48 INV. (S) 890.84 DEPTH 1.54' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN	ACO #3 RIM 892.48 INV. (E) 890.84 DEPTH 1.64' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN	ACO #4 RIM 892.48 INV. (E) 890.84 DEPTH 1.64' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN
ACO #5 RIM 892.48 INV. (N) 890.84 DEPTH 1.54' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN	ACO #6 RIM 892.48 INV. (N) 890.84 DEPTH 1.64' ACO SPORT SYSTEM 3000 IN-LINE CATCH BASIN	TEE #1 15" x 6" HDPE TEE INV. 887.10	TEE #2 18" x 6" HDPE TEE INV. 886.41	TEE #3 15" x 6" HDPE TEE INV. 886.98
TEE #4 12" x 6" HDPE TEE INV. 888.39	TEE #5 12" x 6" HDPE TEE INV. 889.01	TEE #6 12" x 6" HDPE TEE INV. 888.49		

STORM SEWER PIPE SCHEDULE

PIPE #	FROM STRUCTURE	TO STRUCTURE	LENGTH	SLOPE	PIPE SIZE	PIPE MTL
A	IN 1	IN 2	180'	0.30%	12"	CONC.
B	IN 2	IN 3	145'	0.30%	15"	CONC.
C	IN 3	IN 4	224'	0.30%	24"	HDPE
D	IN 4	IN 5	122'	0.30%	24"	HDPE
E	IN 5	IN 6	93'	0.30%	24"	HDPE
F	IN 6	IN 7	84'	0.30%	24"	HDPE
G	IN 7	IN 8	45'	0.30%	24"	HDPE
H	IN 8	IN 9	101'	0.30%	30"	HDPE
I	IN 9	IN 10	91'	0.30%	30"	HDPE
J	IN 10	IN 11	85'	0.30%	30"	HDPE
K	IN 11	EX MH 2	45'	0.30%	30"	HDPE
L	IN 12	IN 13	22'	0.30%	12"	CONC.
M	IN 13	IN 3	184'	0.30%	18"	CONC.
N	CLEANOUT	IN 20	263'	0.30%	8"	PERF. HDPE
O	IN 14	IN 15	184'	0.50%	12"	HDPE
P	IN 15	IN 16	158'	0.60%	15"	HDPE
Q	IN 16	EX MH 1	78'	1.00%	15"	HDPE
R	IN 17	IN 18	122'	0.30%	24"	HDPE
S	IN 18	IN 19	158'	0.30%	24"	HDPE
T	IN 19	IN 20	144'	0.30%	30"	HDPE
U	IN 20	IN 23	249'	0.30%	30"	HDPE
V	TEE 5	TEE 6	174'	0.30%	12"	PERF. HDPE
W	ACO 6	TEE 6	8'	29.40%	6"	PERF. HDPE
X	TEE 6	TEE 1	277'	0.50%	12"	PERF. HDPE
Y	ACO 1	TEE 1	8'	46.70%	6"	PERF. HDPE
Z	TEE 1	TEE 2	174'	0.40%	15"	PERF. HDPE
AA	ACO 2	TEE 2	8'	55.40%	6"	PERF. HDPE
BB	TEE 2	IN 21	45'	0.40%	18"	PERF. HDPE
CC	IN 21	IN 23	56'	0.30%	24"	HDPE
DD	ACO 5	TEE 5	8'	22.90%	6"	PERF. HDPE
EE	TEE 5	TEE 4	175'	0.37%	12"	PERF. HDPE
FF	ACO 4	TEE 4	8'	31.00%	6"	PERF. HDPE
GG	TEE 4	IN 22	138'	0.50%	12"	PERF. HDPE
HH	IN 22	TEE 3	138'	0.50%	12"	PERF. HDPE
II	ACO 3	TEE 3	8'	48.20%	6"	PERF. HDPE
JJ	TEE 3	IN 21	126'	0.60%	15"	PERF. HDPE
KK	CAP 1	IN 22	208'	0.30%	6"	PERF. HDPE
LL	IN 23	EX IN 3	13'	0.30%	30"	HDPE

**PIPE LENGTHS INCLUDE THE RADIUS OF MANHOLES
**ALL NEW PERF. HDPE STORM PIPE W/ SDOCK

WATER MAIN KEY NOTES

- W-1 400 LF 8" PVC C-900 WATER SERVICE - 8.8' MIN. COVER
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
CONNECT TO EXISTING 8" WATER LATERAL.
FIELD VERIFY TYPE, SIZE, LOCATION & INVERT ELEV.
- W-2 11.25' BEND (HORIZONTAL) AND THRUST BLOCK
- W-3 158 LF 8" PVC C-900 WATER SERVICE - 8.8' MIN. COVER
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- W-3A AIR RELEASE ASSEMBLY
- W-4 EXTEND 6" WATER SERVICE TO BLDG. FOUNDATION WALL
CONNECTION TO BLDG. PLUMBING BY BLDG. PLUMBER CONTR.
FIELD VERIFY TYPE, SIZE, LOCATION & INVERT ELEV.
- W-5 187 LF 8" PVC C-900 WATER SERVICE - 8.8' MIN. COVER
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- W-6 EXTEND 6" WATER SERVICE TO BLDG. FOUNDATION WALL
CONNECTION TO BLDG. PLUMBING BY BLDG. PLUMBER CONTR.
FIELD VERIFY TYPE, SIZE, LOCATION & INVERT ELEV.
- W-7 45' BEND (HORIZONTAL) AND THRUST BLOCK FROM
EXISTING HYDRANT STUB
- W-8 15 LF 8" PVC C-900 WATER SERVICE - 6.0' MIN. COVER
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- W-9 45' BEND (HORIZONTAL) AND THRUST BLOCK
- W-10 10 LF 8" PVC C-900 WATER SERVICE - 6.0' MIN. COVER
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- W-11 SALVAGE AND MOVE EXISTING HYDRANT AND VALVE

SANITARY SEWER STRUCTURE SCHEDULE

SS MH #1	SS MH #2
RIM 891.26 INV. (4" W) 891.91 INV. (8" E) 891.91 DEPTH 8.45' 48" CONCRETE MANHOLE NEENAH R-1550-B TYPE B SOLID LID	RIM 893.40 INV. (4" SE) 886.11 INV. (4" W) 886.11 DEPTH 7.29' 48" CONCRETE MANHOLE NEENAH R-1550-B TYPE B SOLID LID

SANITARY SEWER KEY NOTES

- SS-1 353 LF - 4" PVC SDR-26 @ 1.05%
CONNECT TO EXISTING SANITARY STUB
(FIELD VERIFY LOCATION & INVERT)
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- SS-2 45' BENDS (VERTICAL)
UPPER INV. 886.61, LOWER INV. 884.11
- SS-3 3 LF - 4" PVC SDR-26 @ 1.05%
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- SS-4 45' BENDS (VERTICAL)
UPPER INV. 885.64, LOWER INV. 884.14
- SS-5 44 LF - 4" PVC SDR-26 @ 1.05%
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- SS-6 38 LF - 4" PVC SDR-26 @ 1.05%
INSTALL TRACER WIRE ALONG ENTIRE LENGTH OF PIPE
- SS-7 CONNECT TO 4" SAN. BLDG. SEWER PROVIDED BY SITE
PLUMBING CONTR. - SITE INV. 886.51 (I.E. = 92.87)



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963



ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/16/17	BID
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KEY PLAN

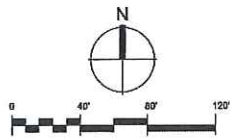
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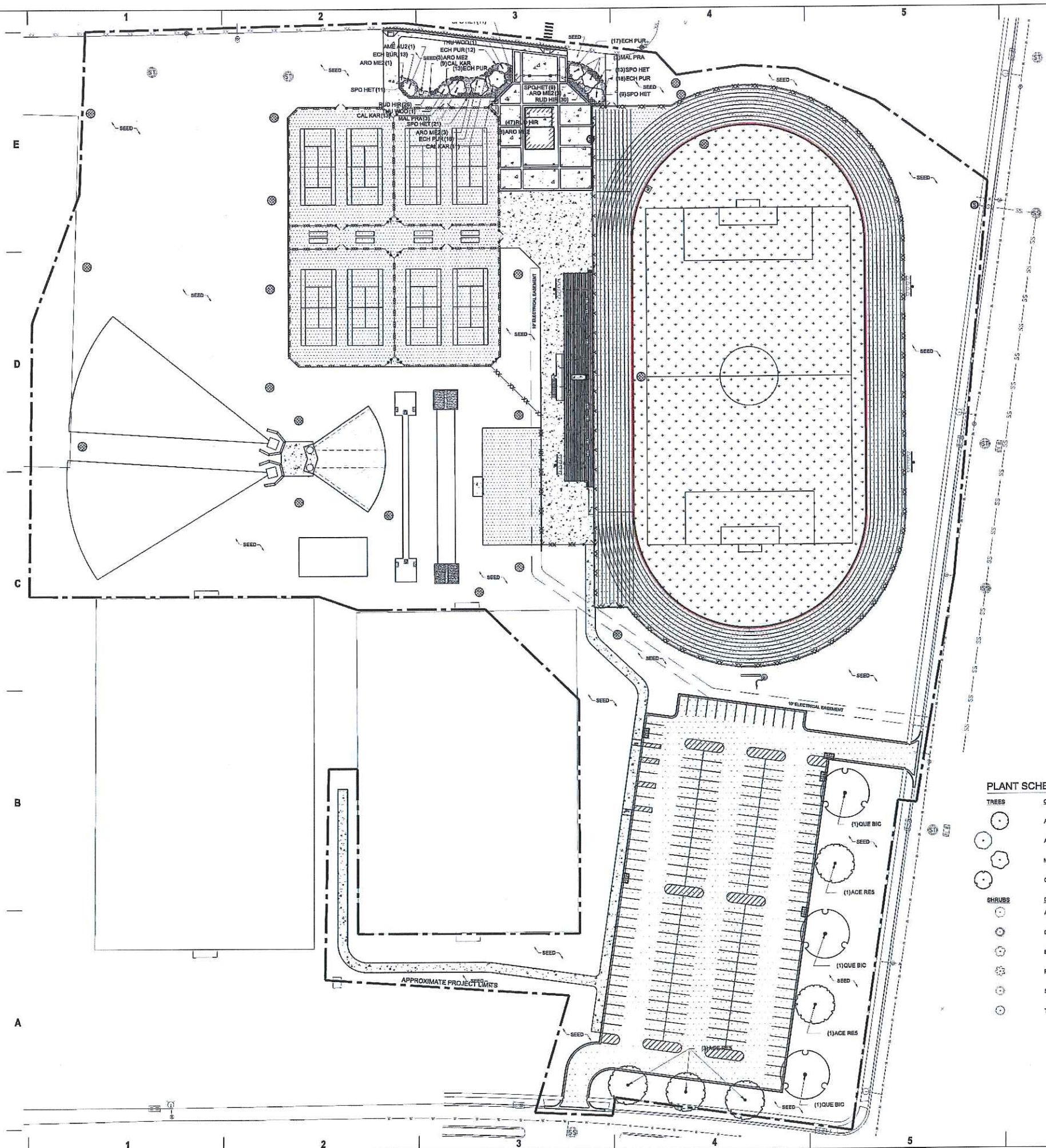
PROJECT MANAGER TW
PROJECT NUMBER 316455-01
DATE 03/16/2017

SITE UTILITY
SCHEDULES

C501

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SITE LANDSCAPE PLAN - GENERAL NOTES

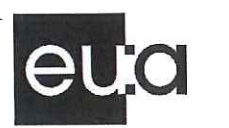
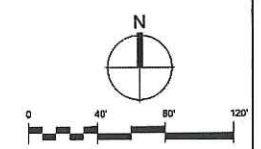
1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL PLANTS SHALL BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL LANDSCAPE BEDS SHALL CONTAIN 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING FOR PERENNIALS AND GRASSES.
5. LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
6. ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
7. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
8. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
9. SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES WARRANTY PERIOD, MAINTENANCE, ETC.
10. SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE LEGEND



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ACE RES	ACER RUBRUM / RED MAPLE	2" CAL B&B	6
	AME AU2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	1
	MAL PRA	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRAB APPLE	2" CAL B&B	6
	QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5"-3" CAL	3
	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	ARO ME2	ARONIA MELANOCARPA / CHOKEBERRY	5 GAL	13
	CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	33
	ECH PUR	ECHINACEA PURPUREA / PURPLE CONEFLOWER	4" POT	89
	RUD HIR	RUDBECKIA HIRTA / BLACK-EYED SUSAN	4" POT	103
	SPO HET	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL	74
	THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	2' HEIGHT	2



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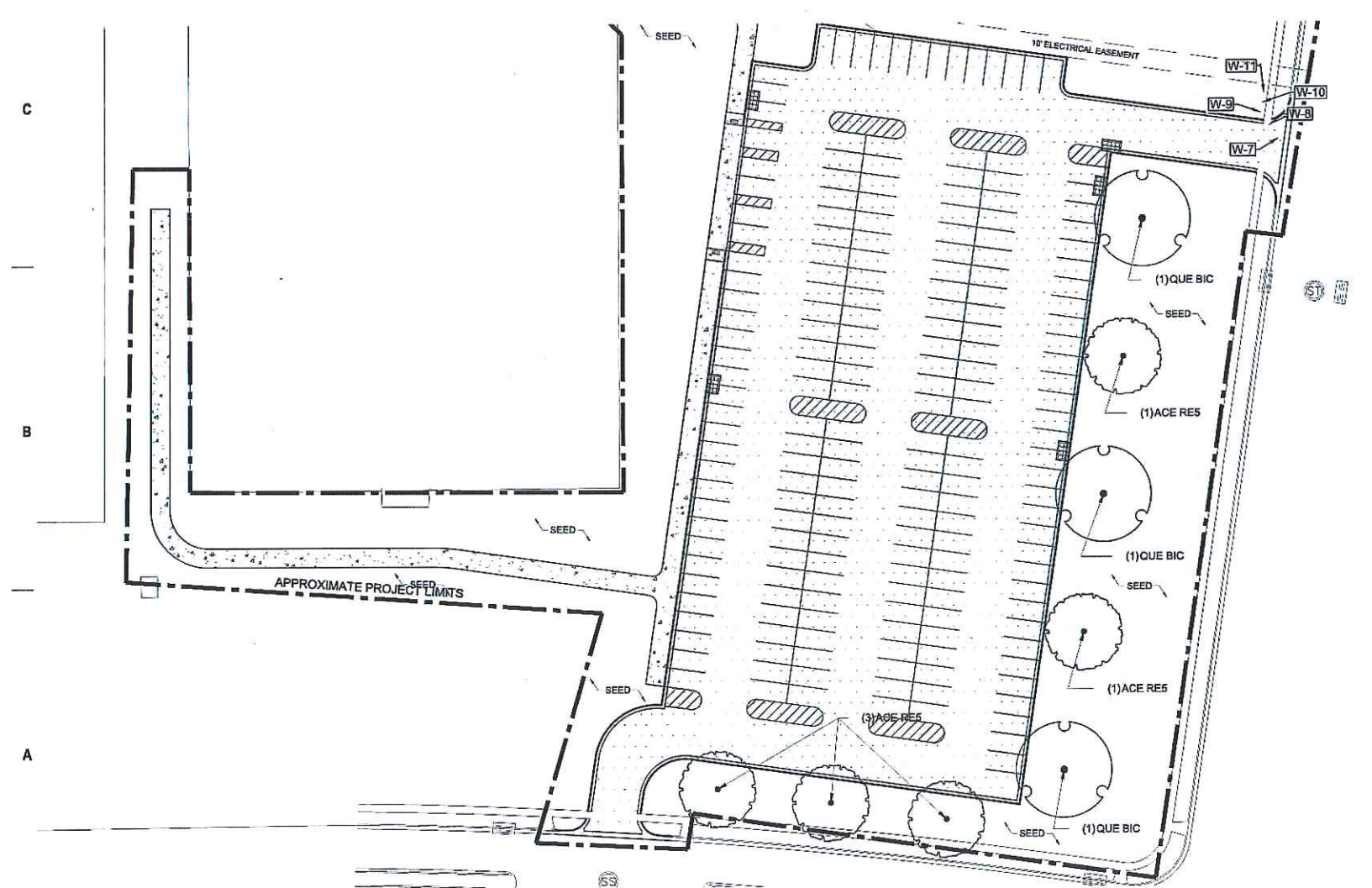
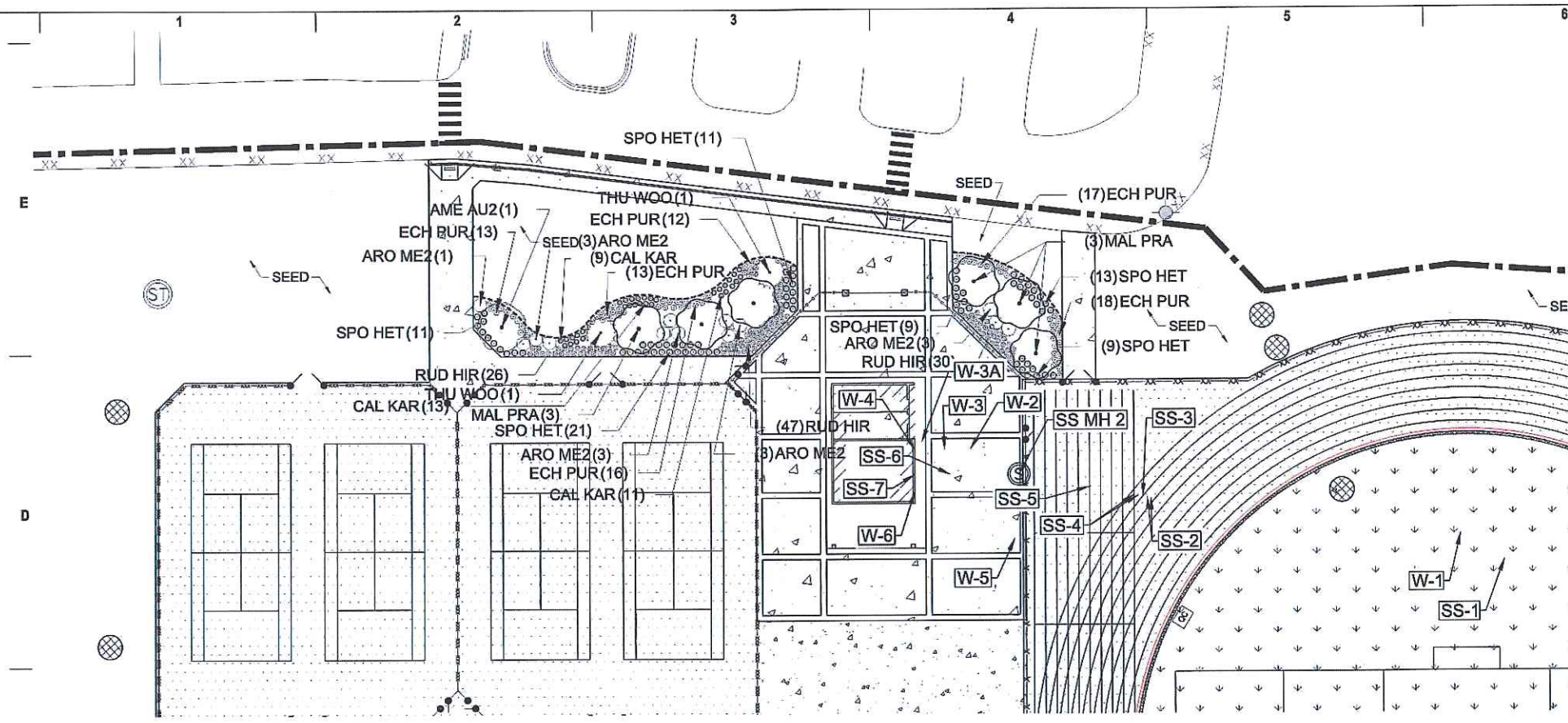
#	DATE	DESCRIPTION
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KEY PLAN

SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 316455-01
DATE 03/16/2017

SITE LANDSCAPE PLAN
C600
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SITE LANDSCAPE PLAN - GENERAL NOTES

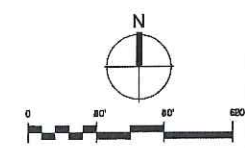
- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL PLANTS SHALL BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL LANDSCAPE BEDS SHALL CONTAIN 4" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING FOR PERENNIALS AND GRASSES.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 6" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE LEGEND



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ACE RES	ACER RUBRUM / RED MAPLE	2" CAL B&B	5
	AME AU2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	1
	MAL PRA	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRAB APPLE	2" CAL B&B	6
	QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5"-3" CAL	3
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	ARO ME2	ARONIA MELANOCARPA / CHOKEBERRY	5 GAL	13
	CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	33
	ECH PUR	ECHINACEA PURPUREA / PURPLE CONEFLOWER	4" POT	89
	RUD HIR	RUDBECKIA HIRTA / BLACK-EYED SUSAN	4" POT	103
	SPO HET	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL	74
	THU WOO	THUJA OCCIDENTALIS 'WOODWARDII' / WOODWARD ARBORVITAE	2" HEIGHT	2



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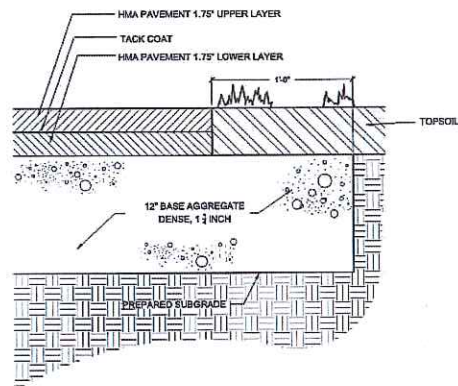
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 PROJECT NUMBER 316455-01
 DATE 03/16/2017

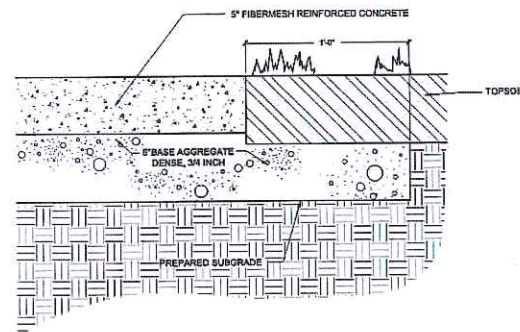
SITE LANDSCAPE PLAN

C601

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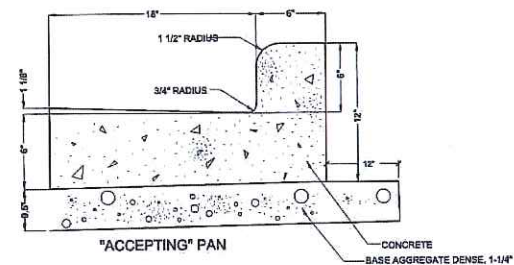


1. 4.5" HMA PAVEMENT

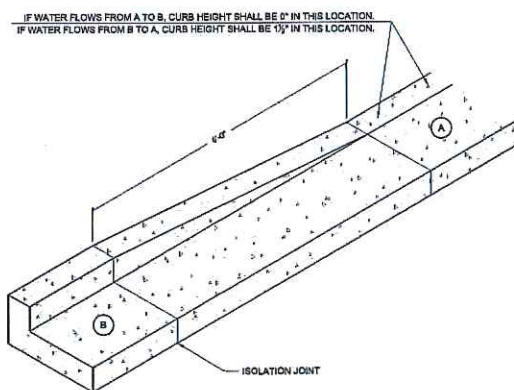
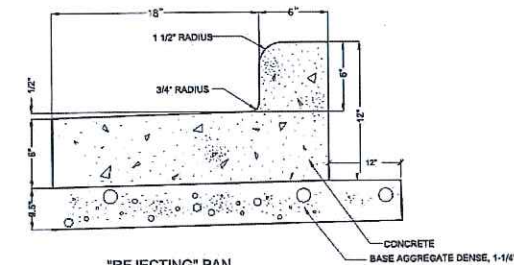


2. 5" REINFORCED CONCRETE

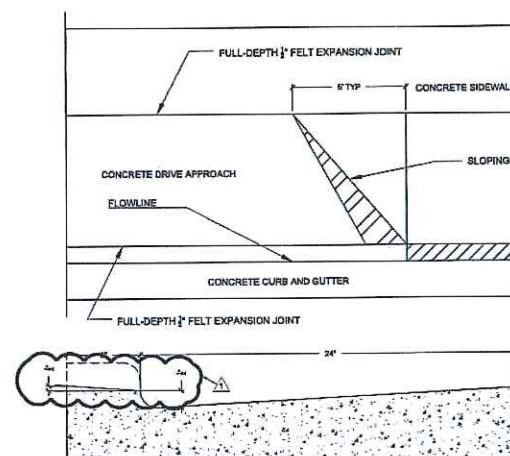
NOTE: CONSTRUCTION JOINTS SHALL BE SPACED TO 15'-0" O.C.



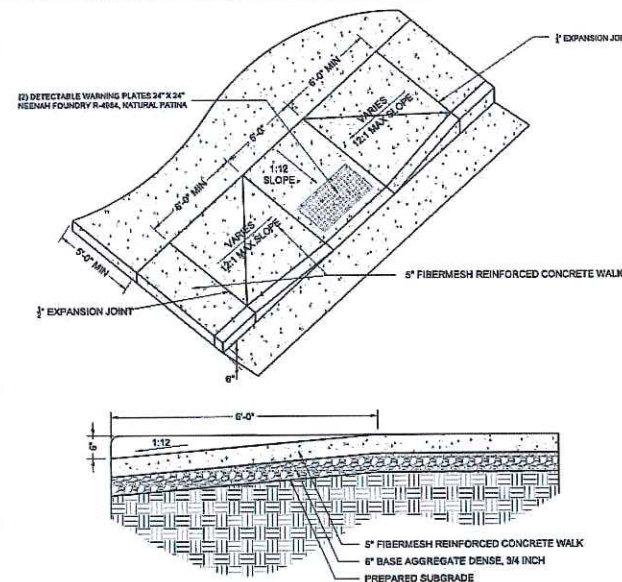
3. 24" CURB & GUTTER



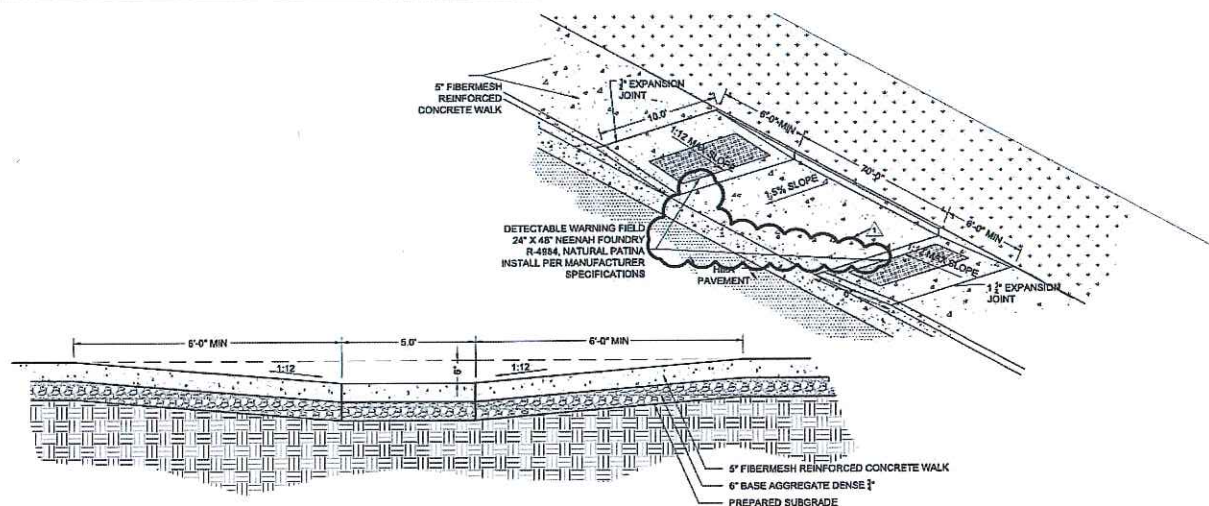
4. CURB TERMINUS



5. DRIVEWAY CURB CUT



6. STANDARD ADA CURB RAMP



7. TYPE 7A ADA CURB RAMP



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PROJECT INFORMATION

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corporation
15517 Southview Park Drive, Suite 100, Littleton, CO 80120
Telephone 303.746.1000 Fax 303.746.1001
a group with g. reppert corp., inc. & reppert corp., inc.

ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/18/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

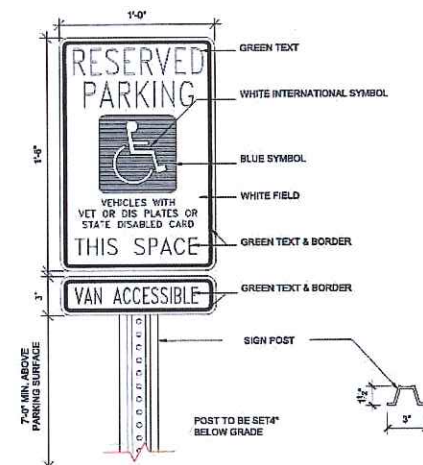
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PROJECT MANAGER	TW
PROJECT NUMBER	316455-01
DATE	Issue Date

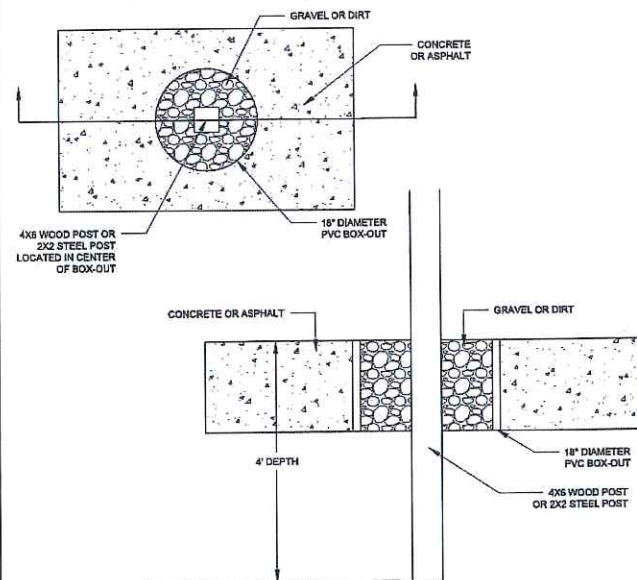
SITE CONSTRUCTION
DETAILS

C700

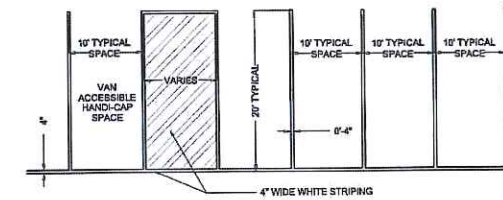
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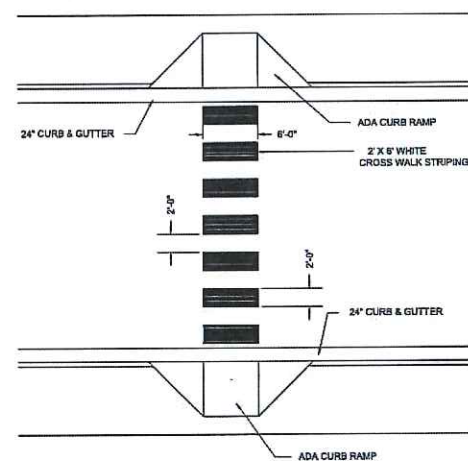
1. VAN ACCESSIBLE PARKING SIGN



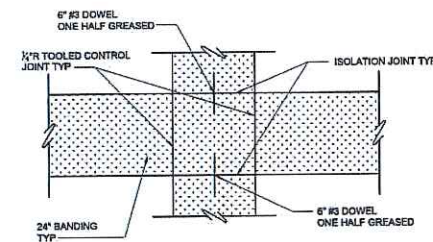
2. SIGN POST BOX-OUT



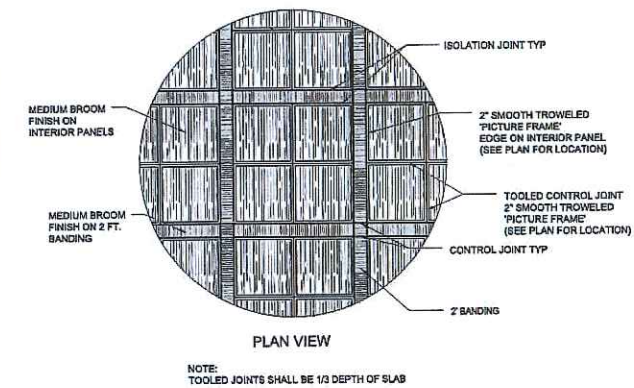
3. PAVEMENT STRIPING



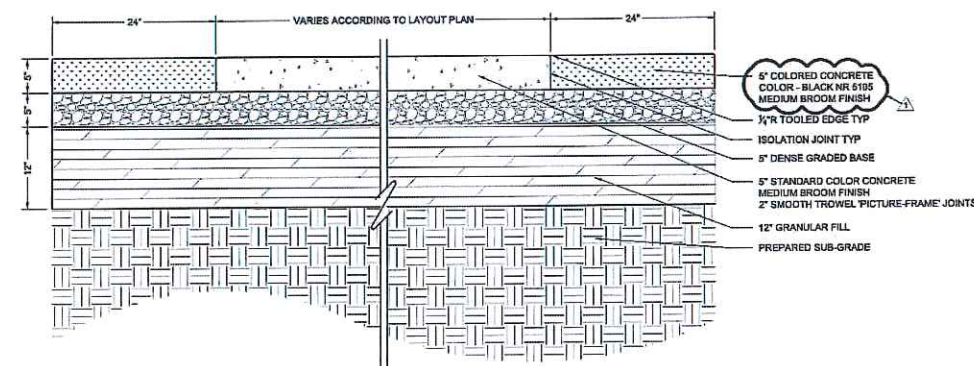
4. CROSSWALK STRIPING



5. CONCRETE BANDING INTERSECTION



6. PLAZA CONCRETE AND CONCRETE BANDING



PLAZA CONCRETE AND CONCRETE BANDING



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL

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WAUPUN WI 53963



ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/16/17 03/27/17	BID ADDENDUM NO. 1

KEY PLAN

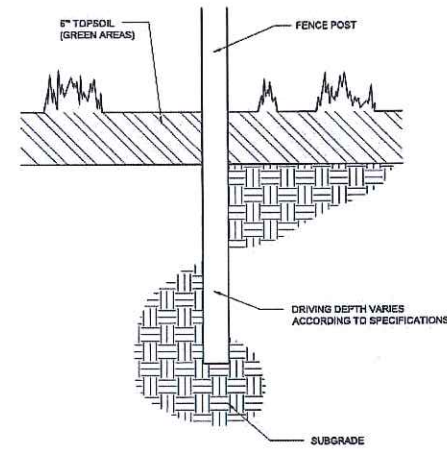
SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	Issue Date

SITE CONSTRUCTION DETAILS

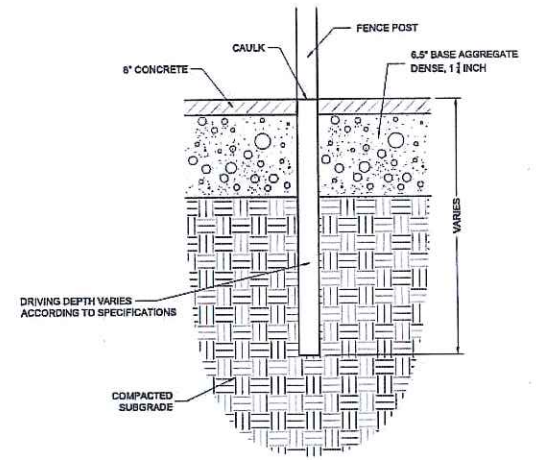
C701

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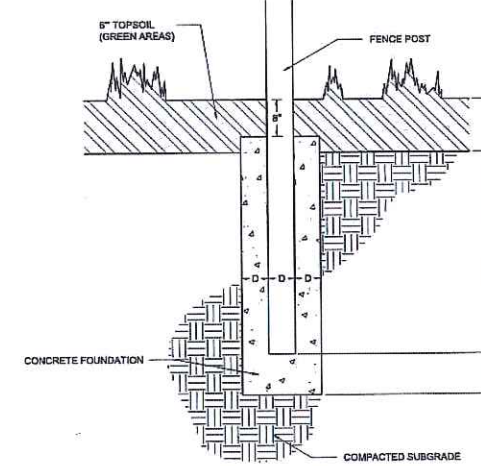
- NOTES:
- ALL LINE POSTS DRIVEN THROUGH BITUMINOUS PAVEMENT SHALL BE SEALED WITH CAULK.
 - SEE LAYOUT SHEET FOR LINE POST LOCATIONS.
 - SEE LAYOUT SHEET FOR FENCE ADJUSTMENT TO RETAINING WALL.
 - VERIFY EXISTING UTILITIES PRIOR TO DRIVING POSTS.

1. DRIVEN FENCE POST



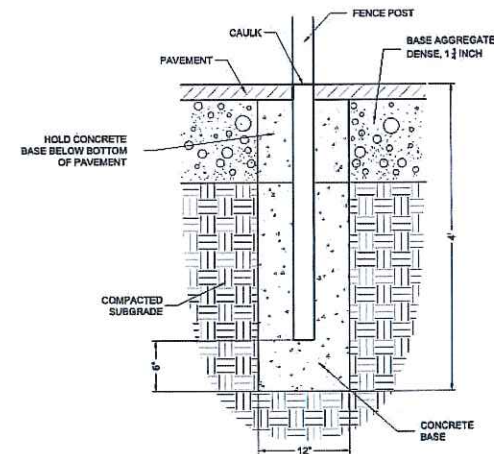
- NOTES:
- ALL LINE POSTS DRIVEN THROUGH BITUMINOUS PAVEMENT SHALL BE SEALED WITH CAULK.
 - SEE LAYOUT SHEET FOR LINE POST LOCATIONS.
 - SEE LAYOUT SHEET FOR FENCE ADJUSTMENT TO RETAINING WALL.
 - VERIFY EXISTING UTILITIES PRIOR TO DRIVING POSTS.

2. DRIVEN FENCE POST WITHIN PAVEMENT LIMITS



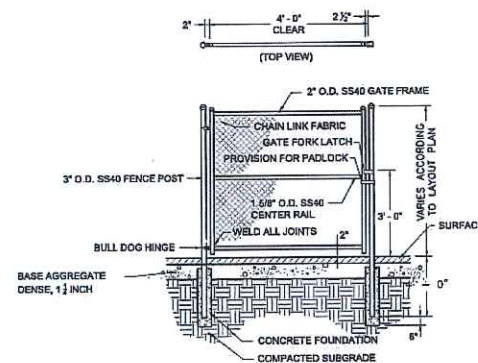
- NOTES:
- SEE LAYOUT SHEET FOR TERMINAL/CORNER POST LOCATION.
 - VERIFY EXISTING UTILITIES PRIOR TO DRIVING POSTS.

3. TERMINAL/CORNER FENCE POST



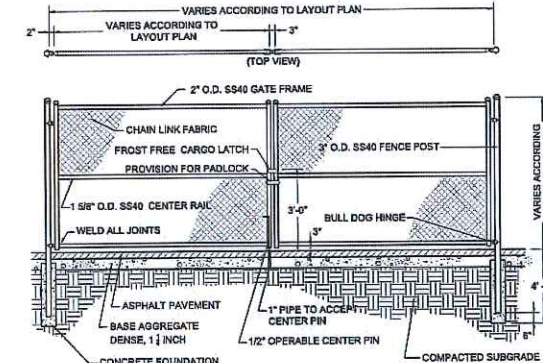
- NOTES:
- SEE LAYOUT SHEET FOR TERMINAL/CORNER POST LOCATION.
 - VERIFY EXISTING UTILITIES PRIOR TO DRIVING POSTS.

4. TERMINAL/CORNER FENCE POST WITHIN PAVEMENT LIMITS



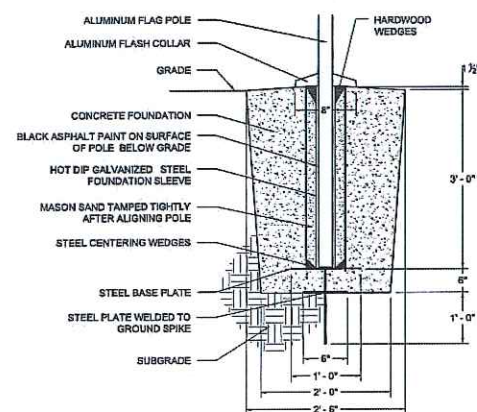
- NOTE: ALL LINE POSTS DRIVEN THROUGH CONCRETE PAVEMENT SHALL BE SEALED WITH CAULK.
- SEE LAYOUT PLAN FOR GATE LOCATIONS

5. PEDESTRIAN GATE



- NOTE: ALL LINE POSTS DRIVEN THROUGH CONCRETE PAVEMENT SHALL BE SEALED WITH CAULK.
- SEE LAYOUT PLAN FOR GATE LOCATIONS

6. SERVICE GATE



- SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER INSTALLATION

7. FLAG POLE FOUNDATION



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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/16/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

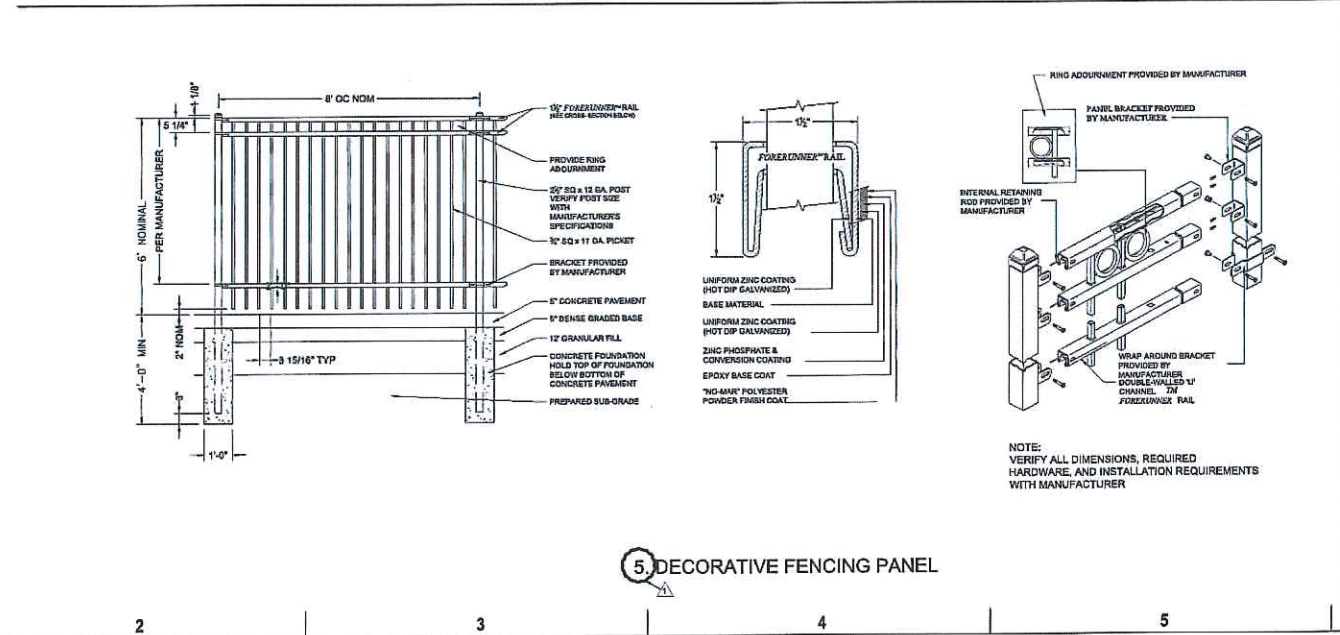
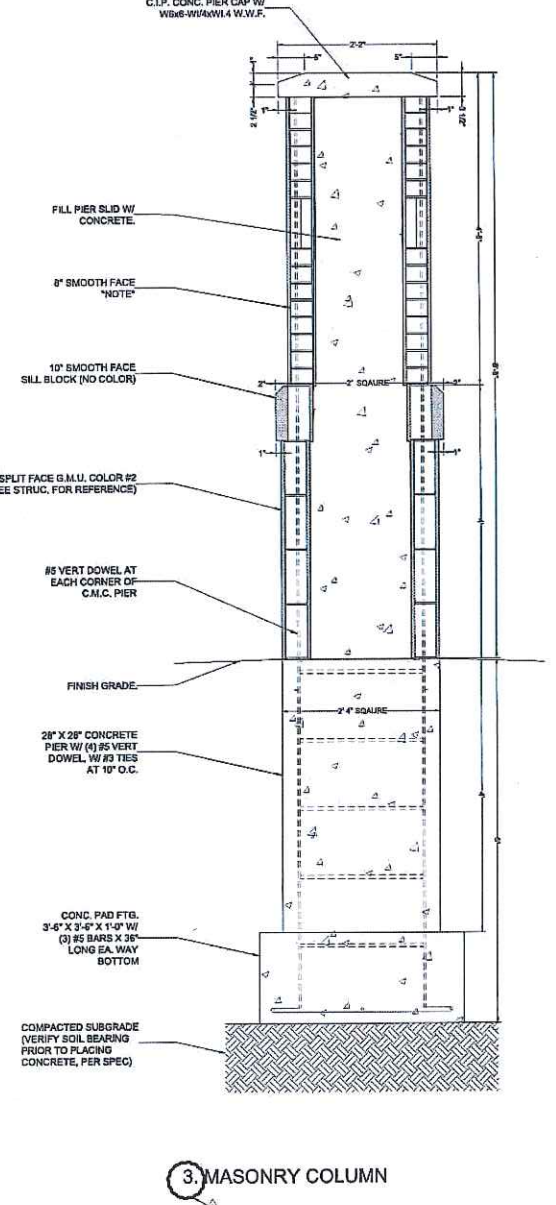
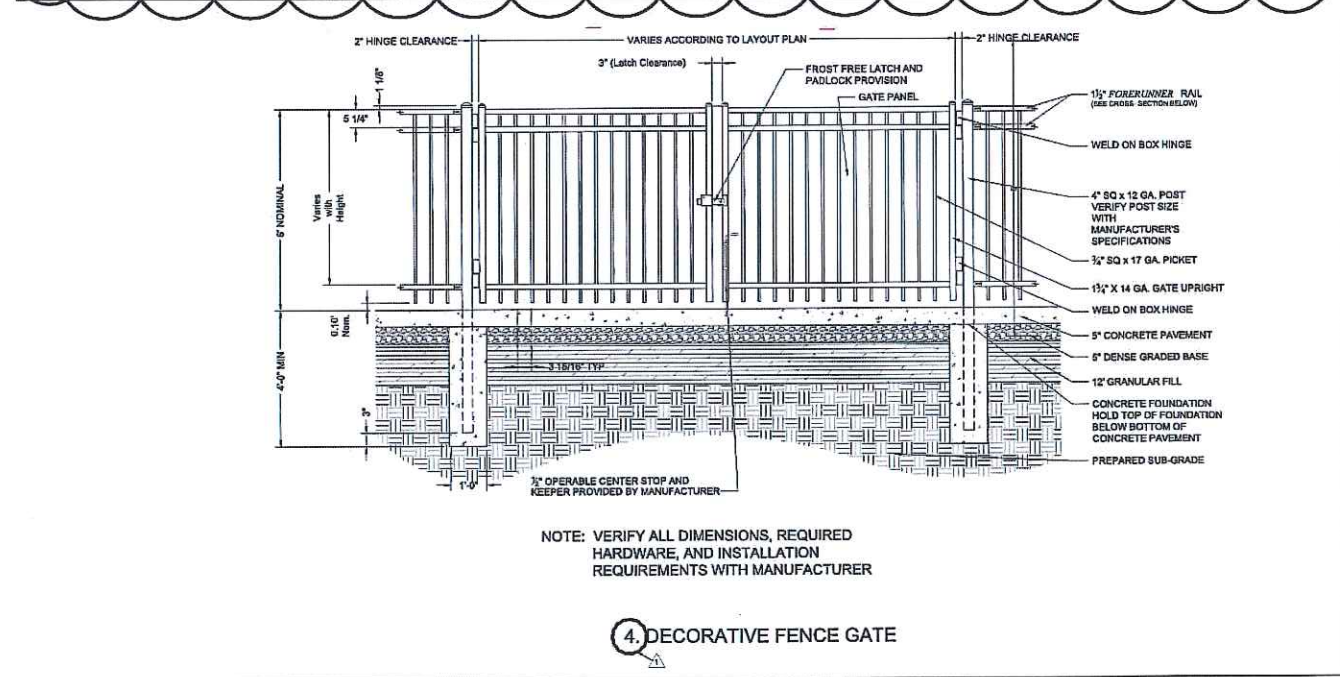
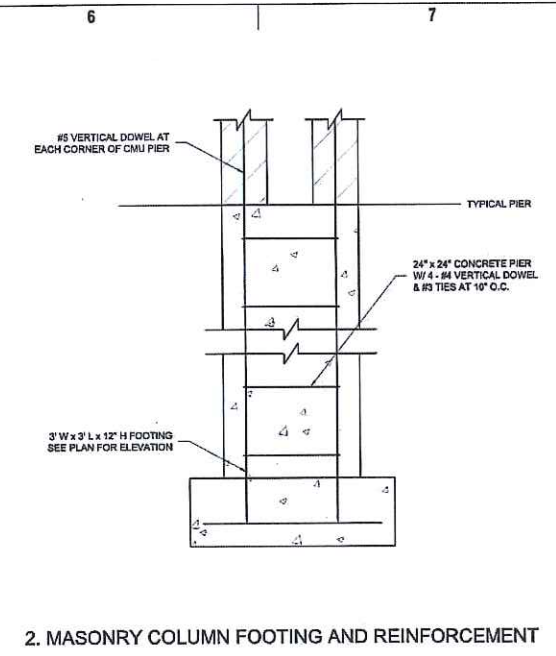
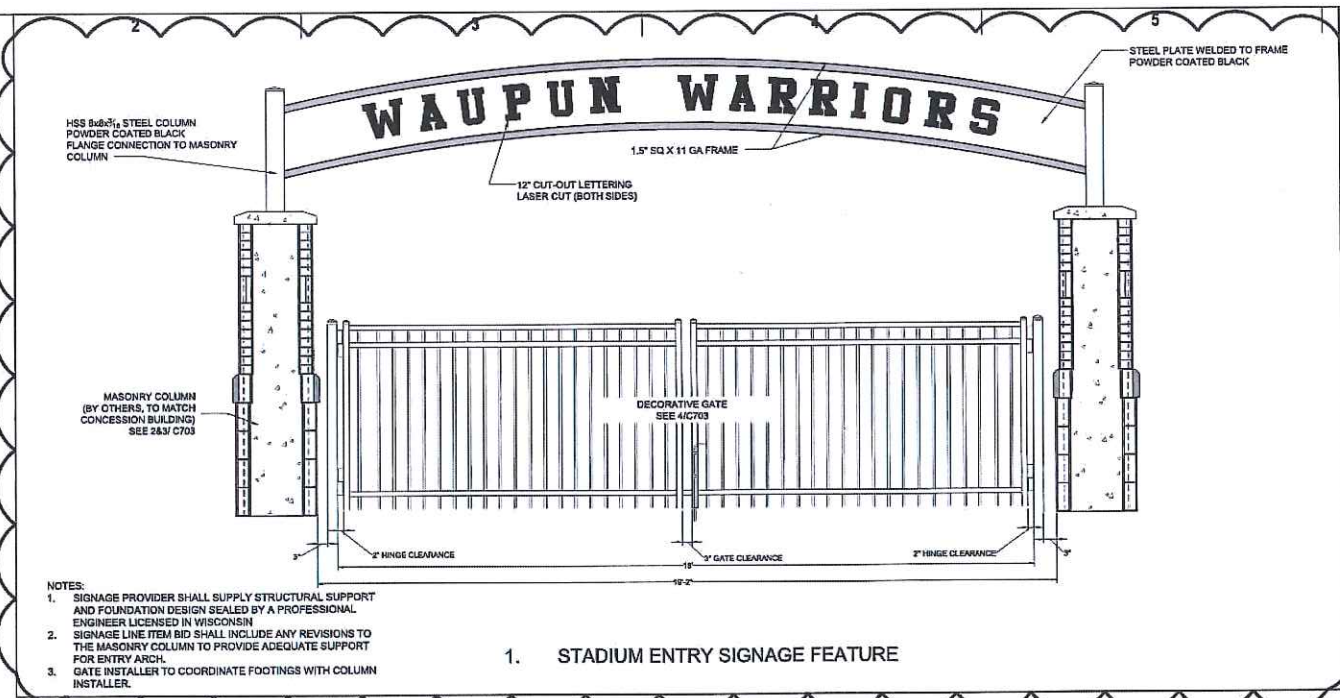
SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	Issue Date

SITE CONSTRUCTION
DETAILS

C702

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PROJECT INFORMATION
WAUPUN JUNIOR / SENIOR HIGH SCHOOL
 801 E LINCOLN ST
 WAUPUN WI 53963

ISSUANCE AND REVISIONS
BID DOCUMENTS

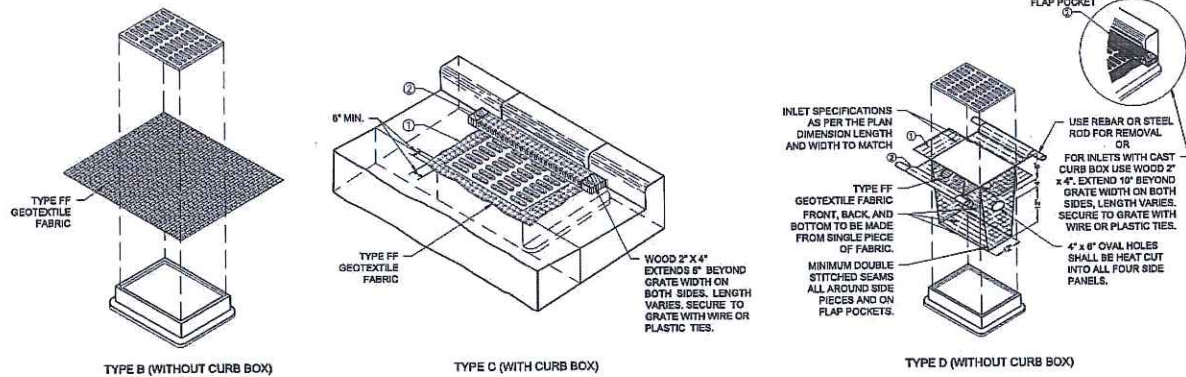
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	3/16/17	BID
1	03/27/17	ADDENDUM NO. 1

KEY PLAN

SHEET INFORMATION

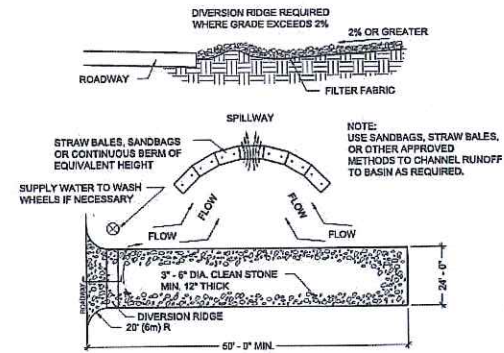
PROJECT MANAGER	TW
PROJECT NUMBER	316455 - 01
DATE	Issue Date

SITE CONSTRUCTION DETAILS
C703
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NOTES (APPLY TO BOTH TYPE B AND TYPE C INLET PROTECTION)

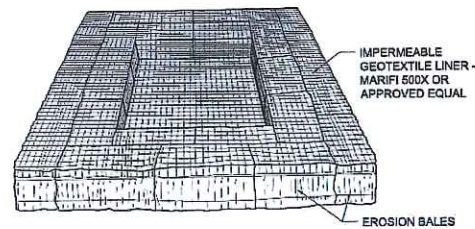
- IF DEPTH IS MORE THAN 30" FROM INLET RIM TO CROWN OF PIPE, USE TYPE D INLET PROTECTION.
- FABRIC SIZE SHALL BE 8" (MIN) GREATER ON ALL SIDES OF THE INLET COVER.
- IF EXCESSIVE SEDIMENT LOADING PLUGS FABRIC, PLACE SAND BAGS AROUND INLET TO INTERCEPT SEDIMENT.
- THE CONTRACTOR SHALL REMOVE SEDIMENT ADJACENT TO THE FABRIC PRIOR TO REPLACING OR REMOVING INLET PROTECTION.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM LEAVING THE FABRIC AND ENTERING THE INLET.
- FABRIC SIZE SHALL BE 8-INCHES (MIN) GREATER ON ALL SIDES OF THE INLET COVER TO PROVIDE A HAND HOLD WHEN MAINTENANCE OR REMOVAL IS REQUIRED.



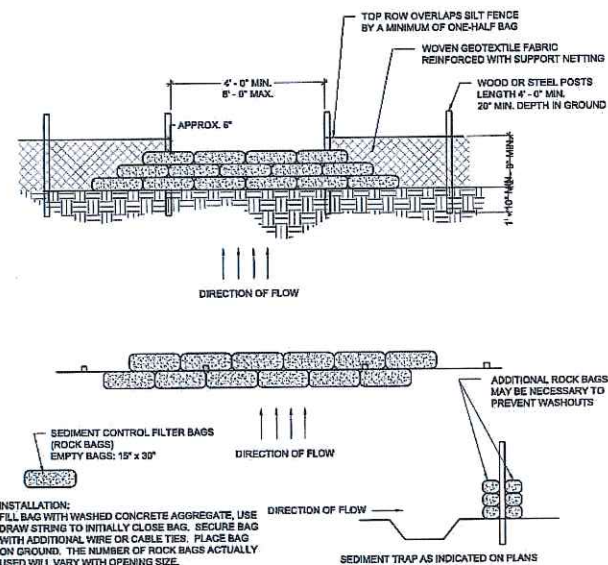
NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING
OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP
DRESSING, REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC
RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH
CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

1. INLET PROTECTION - TYPE B, C, AND D

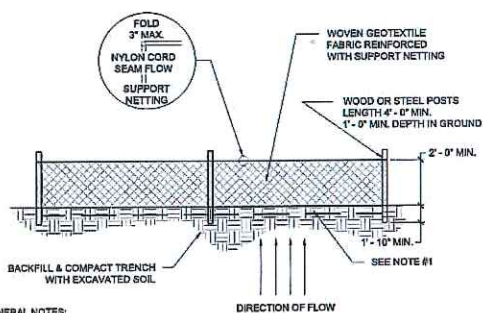
2. STONE TRACKING PAD



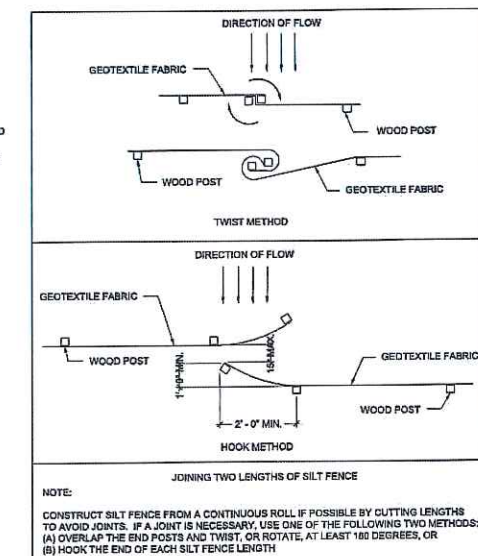
3. CONCRETE TRUCK WASH AREA



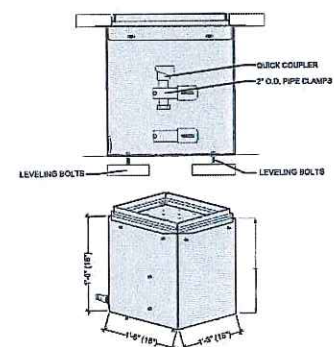
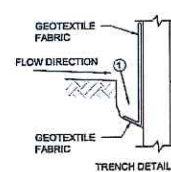
4. SILT FENCE OUTLET



5.



SILT FENCE



6. "SFS" - TC-3700 - QVC PLUS QUICK CONNECT VALVE BOX



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PROJECT INFORMATION

WAUPUN JUNIOR /
SENIOR HIGH
SCHOOL

801 E LINCOLN ST
WAUPUN WI 53963



ISSUANCE AND REVISIONS

BID DOCUMENTS

#	DATE	DESCRIPTION
1	3/16/17	BID
2	03/27/17	ADDENDUM NO. 1

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER	TW
PROJECT NUMBER	316455-01
DATE	Issue Date

SITE CONSTRUCTION
DETAILS

C704

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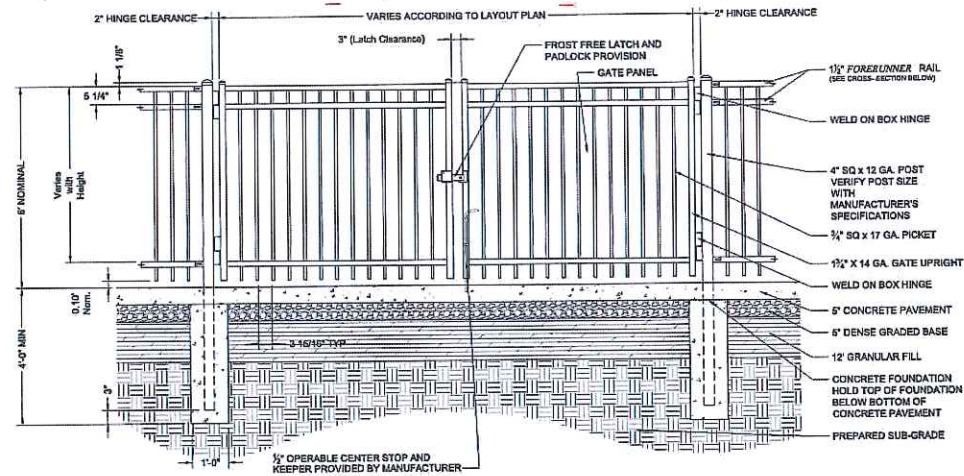
E

D

C

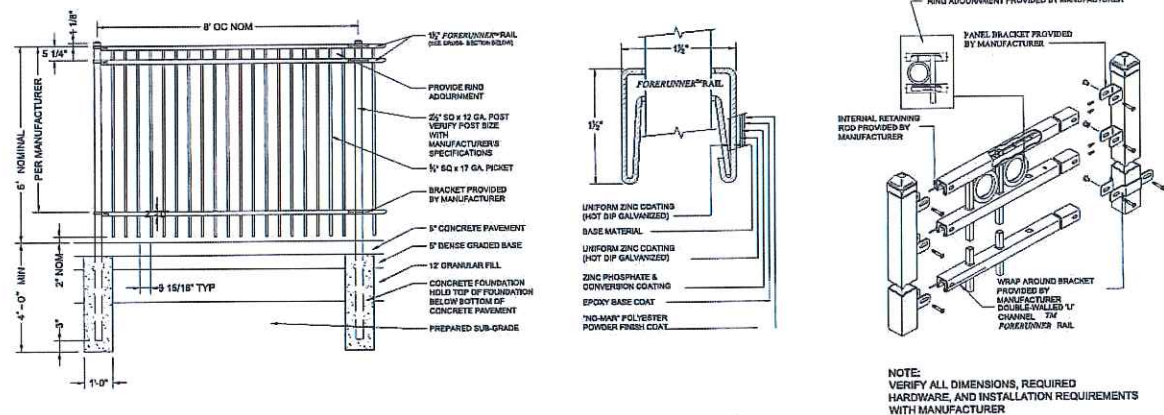
B

A



NOTE: VERIFY ALL DIMENSIONS, REQUIRED
HARDWARE, AND INSTALLATION
REQUIREMENTS WITH MANUFACTURER

1. DECORATIVE FENCE GATE



NOTE: VERIFY ALL DIMENSIONS, REQUIRED
HARDWARE, AND INSTALLATION REQUIREMENTS
WITH MANUFACTURER

2. DECORATIVE FENCING PANEL



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PROJECT INFORMATION

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RETTLER
corporation

1412 Ziegler Road, P.O. Box 1412, Waupun, WI 53983
Telephone: 920.251.2512 Fax: 920.251.2511
e-mail: info@rettlers.com, website: www.rettler.com

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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SITE CONSTRUCTION DETAILS
C

KEY PLAN

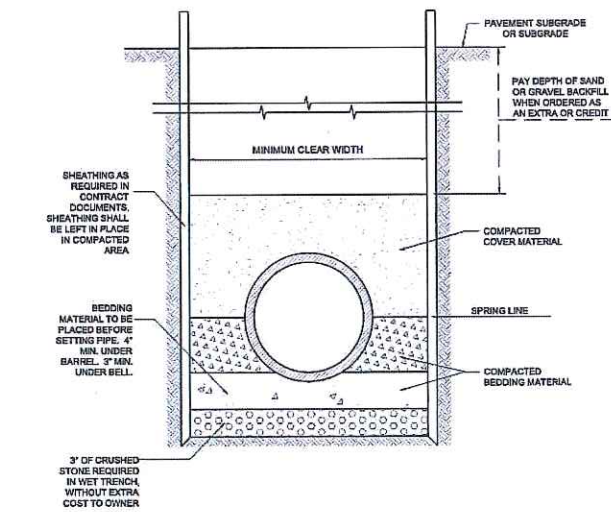
SHEET INFORMATION

PROJECT MANAGER TW
PROJECT NUMBER 316435-01
DATE 03/16/2017

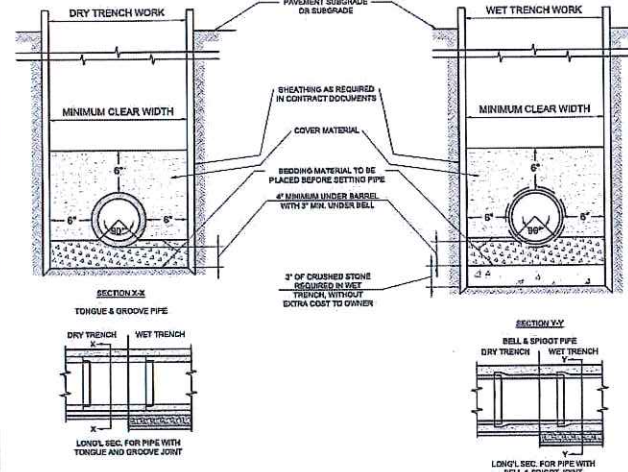
SITE DETAILS

C705

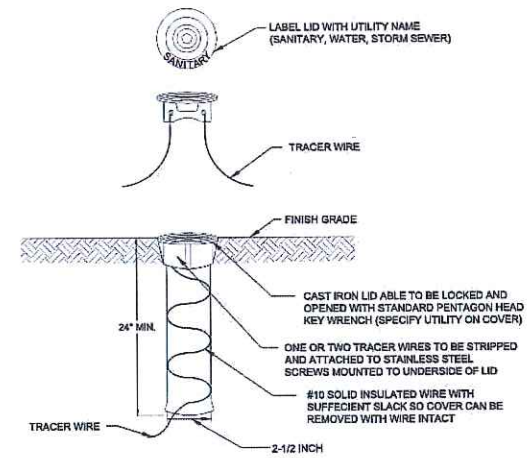
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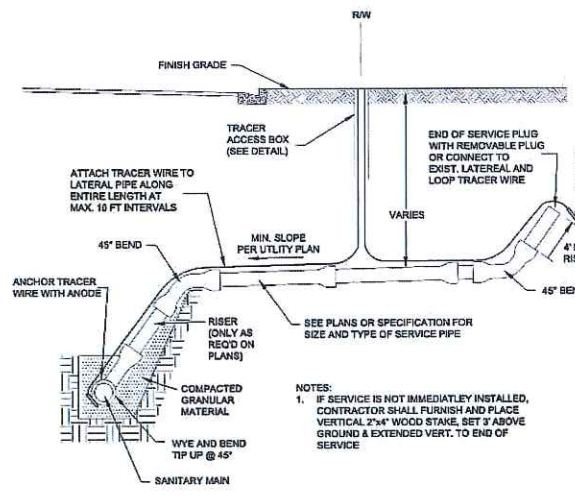
8. CLASS B PIPE BEDDING



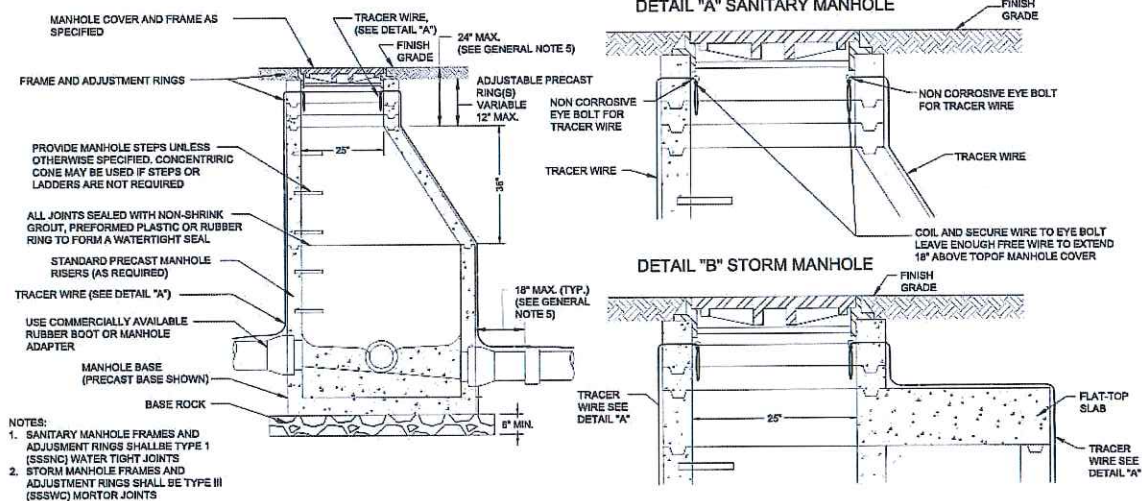
9. CLASS C PIPE BEDDING



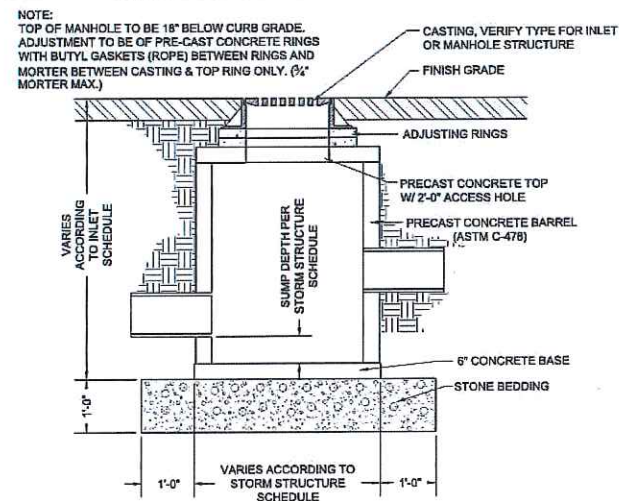
5. TRACER WIRE SIGNAL BOX



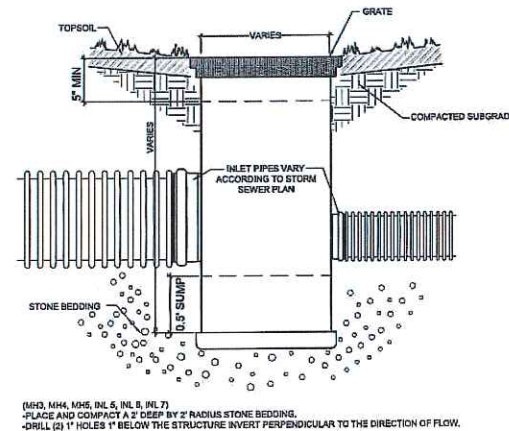
2. TRACER WIRE SANITARY SEWER LATERAL



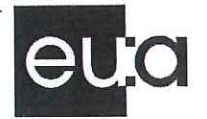
6. TRACER WIRE W/ MANHOLE TRANSITION



3. CONCRETE STORM STRUCTURE W/ SUMP



4. HDPE STORM STRUCTURE



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PROJECT INFORMATION

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801 E LINCOLN ST
WAUPUN WI 53963



ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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SITE CONSTRUCTION DETAILS
C

KEY PLAN

SHEET INFORMATION

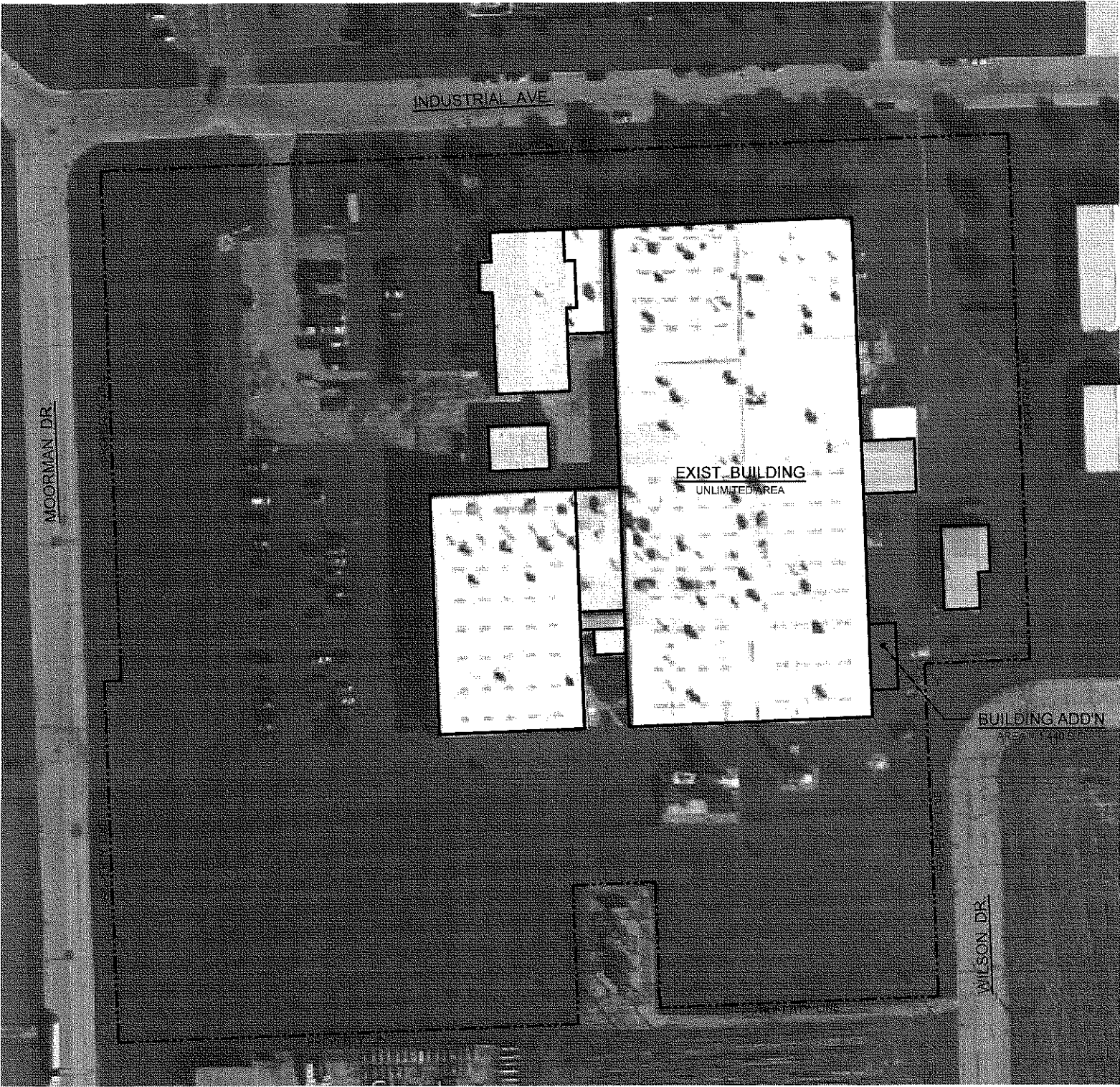
PROJECT MANAGER TW
PROJECT NUMBER 316455-01
DATE 03/16/2017

SITE DETAILS

C706

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PROJECT LOCATION

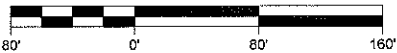


NOTE:
THIS SITE PLAN IS BASED ON INFORMATION FROM PUBLIC SOURCE MATERIAL AND IS MEANT TO CONVEY THE LOCATION OF THE BUILDINGS IN RELATION TO EACH OTHER ONLY. AN UPDATED SURVEY AND TITLE SEARCH HAVE NOT BEEN AUTHORIZED AND THE BOUNDARY AND EASEMENTS SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.



BUILDING SITE PLAN

APPROXIMATE SCALE: 1" = 80'-0"



ROLL-UP FIRE DOOR SPECIFICATIONS:

MANUFACTURER: COOKSON DOOR OR EQUIVALENT
PRODUCT: MODEL 652, FACE OF WALL MOUNTED
CONSTRUCTION:
- PROVIDE UL 2-HOUR, CLASS B LABEL
- FINISH: GALVANIZED STEEL TO ASTM A 653 FINISHED WITH A RUST INHIBITIVE ROLL COATING PROCESS, INCLUDING BONDERIZING, A 0.2 MIL THICK BAKED PRIME PAINT AND A 0.6 MILS THICK BAKED TO COAT - GRAY POLYESTER
- INTERLOCKING SLATS, 22 GA. GALVANIZED STEEL W/ ENDOCKS TO PREVENT LATERAL MOVEMENT
- BOTTOM BAR: SINGLE BLACK POWDER COATED STEEL ANGLE
- GUIDES: ROLL FORMED BLACK POWDER COATED STEEL SHAPES
- BRACKETS: BLACK POWDER COATED STEEL
- COUNTERBALANCE: HELICAL TORSION SPRING TYPE HOUSED IN STEEL TUBE
- HOOD: GALVANIZED PAINTED STEEL FM APPROVED HOOD EQUIPPED WITH THERMALLY CONTROLLED, INTERNAL FLAME Baffle, PROVIDE EXTERIOR UL LISTED BRUSH SMOKE SEAL
- OPERATION: MANUAL PUSH
- AUTOMATIC CLOSURE: MANUF. STANDARD INTERCONNECTED DOOR CLOSING MECHANISM CAPABLE OF RECEIVING ALARM INPUT FROM SMOKE DETECTOR ON EACH SIDE OF DOOR
- PROVIDE ALL REQUIRED ACCESSORIES, FASTENERS AND EQUIPMENT FOR A COMPLETE INSTALLATION FOR INTENDED USE AND EFFECT
WARRANTY: MANUFACTURER'S STANDARD 2 YEAR WARRANTY

HOLLOW METAL DOOR & FRAME SPECIFICATIONS:

MANUFACTURER: CURRIES (APPROVED EQUIVALENT: STEELCRAFT)
CONSTRUCTION: DOORS:
- 707 N SERIES
- MIN. 16 GA. W/ POLYSTYRENE CORE AT INTERIOR DOORS, 'R' VALUE = 6.37
- MIN. 16 GA. W/ POLYURETHANE CORE AND FLUSH TOP CAP AT EXTERIOR DOORS, 'R' VALUE = 10.04
FRAMES:
- 1/4" PROFILE W/ CONT. WELD FACE SEAMS AND FULL WIDTH OF JAMB
- MIN. 16 GA. AT INTERIOR FRAMES
- MIN. 14 GA. AT EXTERIOR FRAMES
GENERAL:
- ALL EXTERIOR DOORS AND FRAMES TO BE GALVANIZED
- ALL DOORS & FRAMES TO HAVE BAKED ON PRIMER FINISH
- ALL DOORS & FRAMES TO BE REINFORCED AND PREPARED FOR HARDWARE
- PROVIDE BACK BOXES FOR ALL HARDWARE ITEMS INCLUDING ELECTRICAL
- ALL REINFORCEMENT TO BE MIN. 12 GA.
- PROVIDE WELDED IN BASE ANCHORS
- PROVIDE SILENCERS (3 PER JAMB) AT ALL METAL DOOR FRAMES
- PROVIDE BITUMINOUS COATING ON INT. FACE OF FRAMES IN MASONRY WALLS

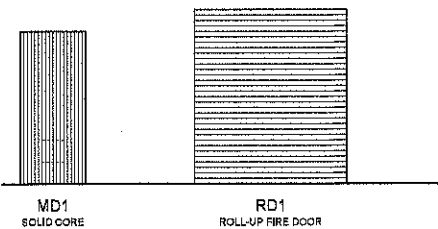
DOOR SCHEDULE													
DOOR NO.	DOOR SIZE	DOOR TYPE	FRAME TYPE	FIRE RATING	UNDERCUT OR GRILLE (W x H)	HARDWARE							
						HINGE	LOCKSET	STOPS	CLOSER	EXIT DEVICE	PUSH/PULL/KICK	MISC.	WS, SWP, THRESHOLD
FIRST FLOOR													
100A	3'-0" x 7'-0" x 1 3/4"	MD1	HM1			H2	L1		C2				T1, SW1, WS1
100B	3'-0" x 7'-0" x 1 3/4"	MD1				H2			C2			F81	T1, SW1, WS1
100C	3'-0" x 7'-0" x 1 3/4"	MD1	HM1	90 MIN.		H1	L1		C1				WS2
100D	8'-0" x 10'-0"	RD1		90 MIN.									(1)

HARDWARE NOTES:

HINGES:
IVES (HAGER, MCKINNEY)
4 1/2" x 4 1/2", 1 1/2" PAIR PER DOOR U.N.O.
H1: 50B1 (625)
H2: 50B1SS NRP (630)
LOCKSETS:
SCHLAGE ND SERIES, RHODES DESIGN
(BEST 90K 150, SARGENT 10 LINE L1)
L1: ENTRANCE (ND53PD) (625)
CLOSERS:
LON (HORTON 7500, SARGENT 351)
C1: 4111 CUSH (ALUM)
C2: 4111 SPRING H-CUSH (ALUM)
WEATHER STRIP, SWEEP, THRESHOLD:
NATIONAL GUARD PRODUCTS (REESE, PEMKO)
T1: 8424
SW1: 200NA
WS1: 180VA
WS2: 5050B
MISC HARDWARE:
FLUSH BOLTS
IVES (ROCKWOOD)
FB1: FB458&DP-2 (825)

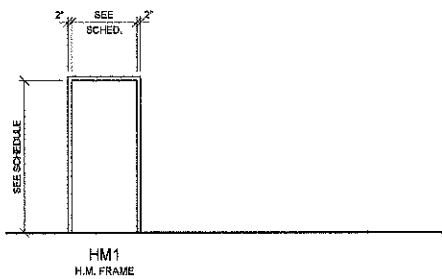
DOOR SCHEDULE REMARKS:

1. ALL HARDWARE BY DOOR SUPPLIER



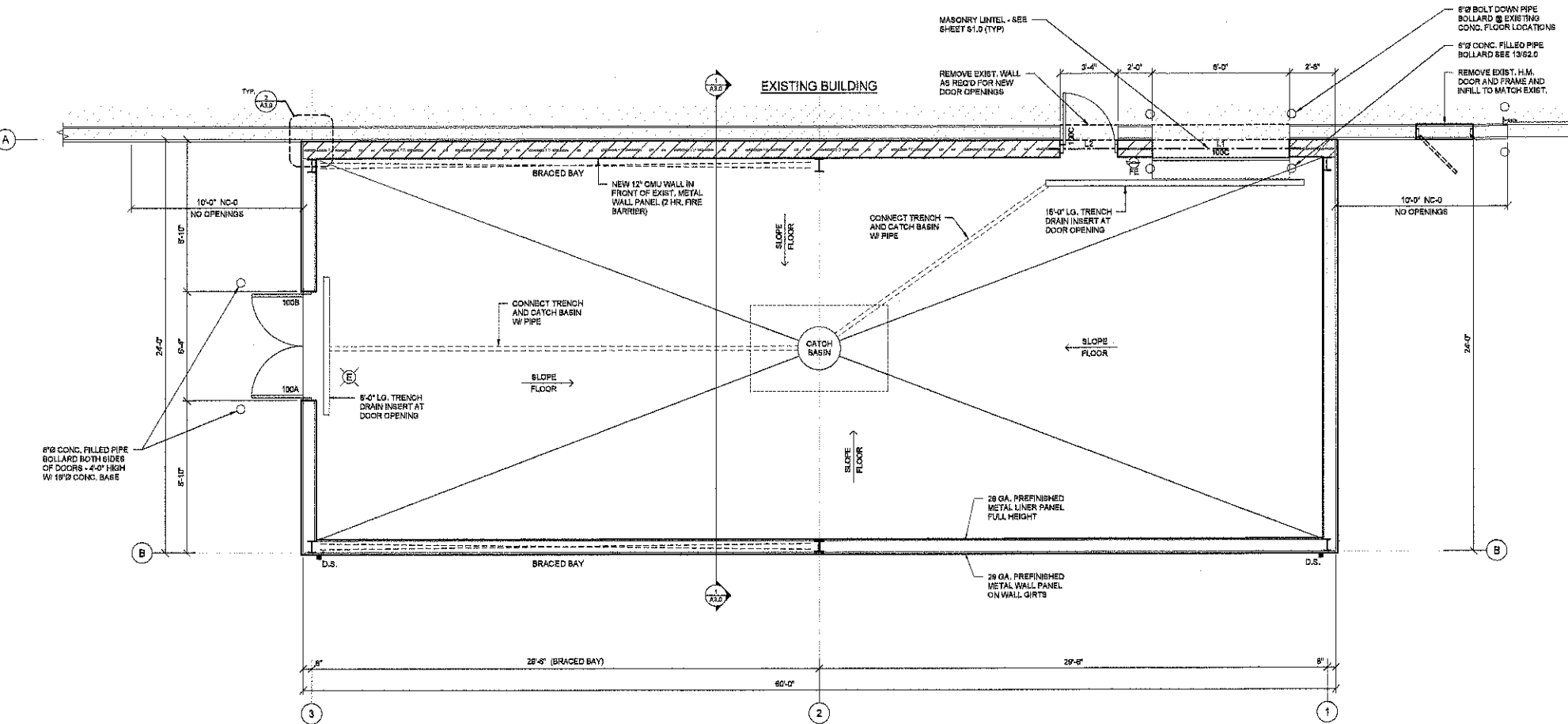
DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

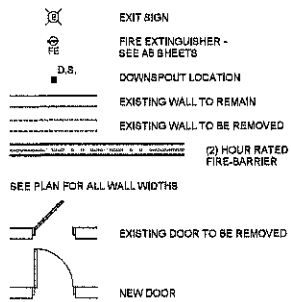


DOOR FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"



TYP. FLOOR PLAN SYMBOLS:



FLOOR PLAN NOTES:

- IF REQUIRED BY FIRE CODE OFFICIAL OWNER SHALL PROVIDE A HAZARDOUS MATERIALS MANAGEMENT PLAN AND HAZARDOUS MATERIALS INVENTORY STATEMENT AS PER 2005 INTERNATIONAL FIRE CODE.
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS FOR HAZARDOUS MATERIAL RACK STORAGE OF COMBUSTIBLE LIQUIDS AS PER 2005 EDITIONS OF THE INTERNATIONAL BUILDING CODE, INTERNATIONAL FIRE CODE AND INTERNATIONAL MECHANICAL CODE AND NFPA 70, NFPA 30 AND NFPA 13.
- AN APPROVED MANUAL SUPERVISED EMERGENCY ALARM SYSTEM SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. EMERGENCY ALARM INITIATING DEVICES SHALL BE INSTALLED OUTSIDE OF EACH INTERIOR EXIT OR EXIT ACCESS DOOR OF THE SPACE. ACTIVATION SHALL SOUND A LOCAL ALARM.
- ELECTRICAL CONTRACTOR TO PROVIDE LEAKAGE ALARM AS PER 2008 IBC 415.6.2.4 AS REQUIRED.
- HVAC CONTRACTOR TO PROVIDE VENTILATION OF ROOM AS PER 2009 INTERNATIONAL MECHANICAL CODE AND 2009 INTERNATIONAL FIRE CODE.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



FOND DU LAC, WI 54932-4448

BHA

Blowfish Architects, llc

752 S. Grove St.
Ripon, WI 54971
920-810-5561
William F. Hoch, AIA

Federal Mogul Corporation

Hazardous Storage Addition
401 Industrial Ave.
Waupun, WI 53983

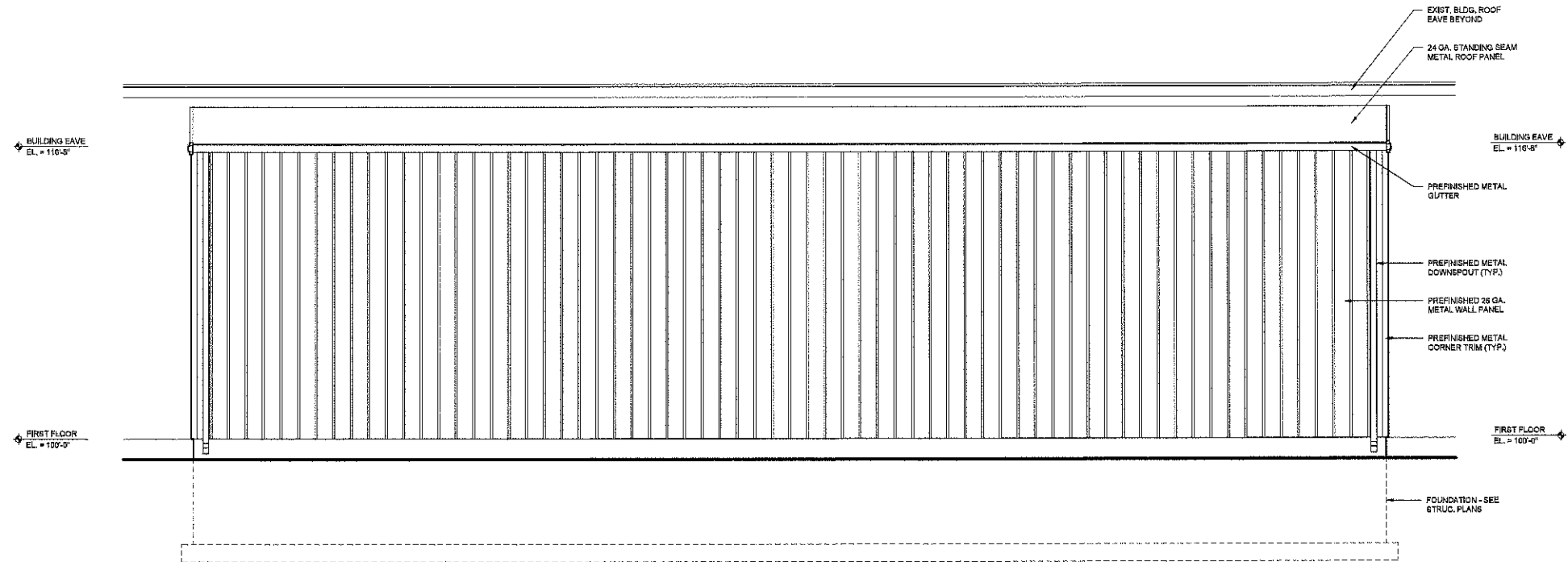
REVISIONS:

150370

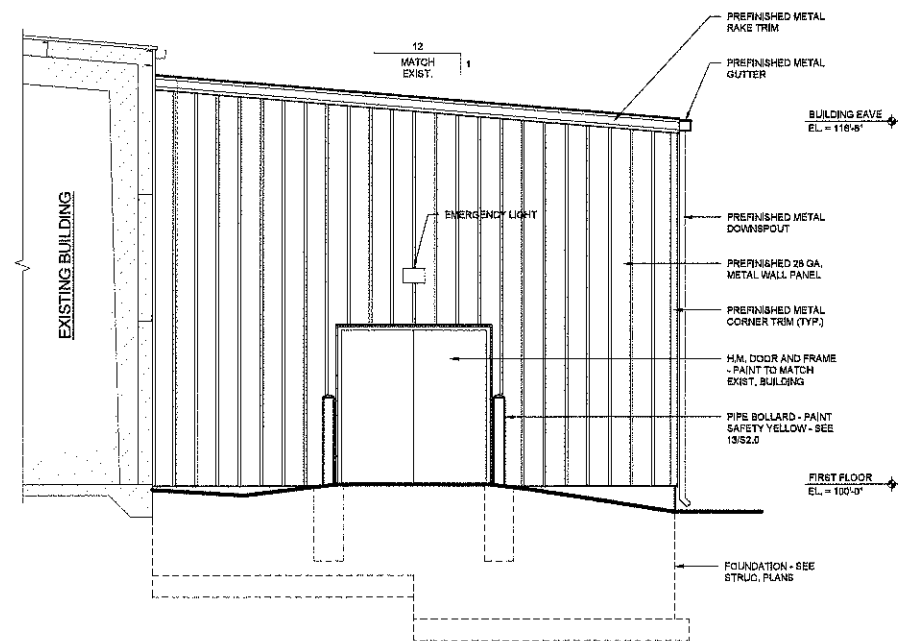
MAR. 27, 2017

SHEET

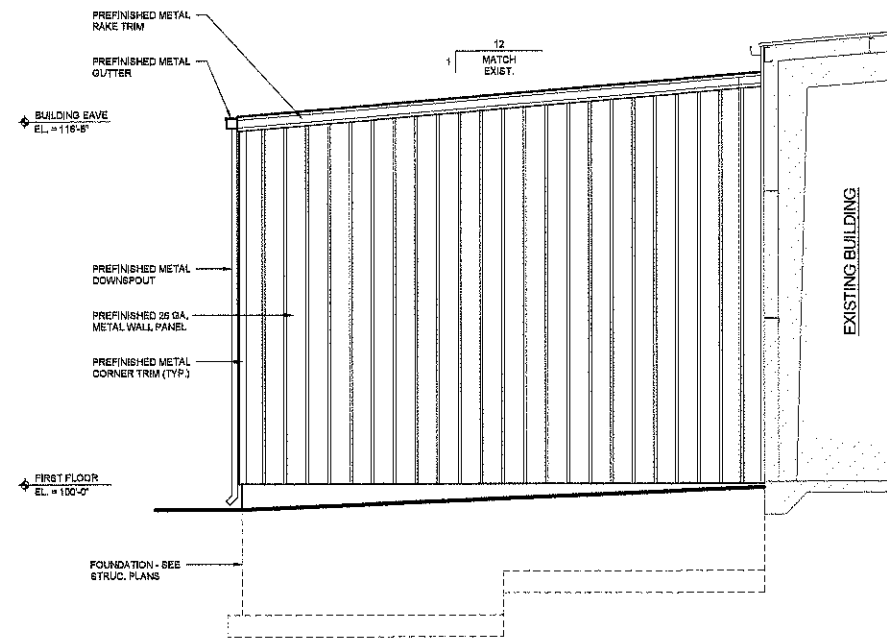
A1.0



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

BHA

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752 S. Grove St.
Ripon, WI 54971
920-810-5561
William F. Hoch, AIA

Federal Mogul Corporation

Hazardous Storage Addition
401 Industrial Ave.
Waupun, WI 53983

REVISIONS:

150370
MAR. 27, 2017
SHEET

A2.0



FOND DU LAC, WI 520.922.4496

PROJECT #	R.00212095.0	SCALE:	1" = 200'	FILE #	00212095.CSM
FIELD BOOK #	3221	DRAWN BY	D.L. LEISTEKOW	SHEET #	1 OF 2
PAGES #	94-95	CHECKED BY	M. J. LAUE	SIDE #	

MSA

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920-887-4242 1-800-552-6330 Fax: 920-887-4250

PROFESSIONAL SERVICES

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SURVEYOR:
MICHAEL J. LAUE
MSA PROFESSIONAL SERVICES, INC.
201 CORPORATE DRIVE
BEAVER DAM, WI 53916
(920) 887-4242

CLIENT/OWNER:
CITY OF WAUPUN
201 E. MAIN STREET
WAUPUN, WI 53983

REGISTRAR'S SEAL

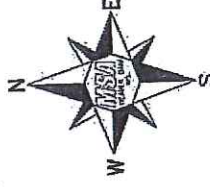
DODGE COUNTY CERTIFIED SURVEY MAP

A RESURVEY OF LOTS 10 AND 11 OF HERITAGE RIDGE AND BEING PART OF THE SW.1/4 OF THE SW.1/4 OF SECTION 9, T.13N., R.15E., CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

NOTE: The 20' drainage easement and 15' pond maintenance access easement along the Lot line between Lots 10 and 11 of Heritage Ridge will be eliminated by this Certified Survey Map.



BEARINGS REFERENCED TO THE WEST LINE OF THE SW.1/4 OF SECTION 9-13-15 WHICH BEARS N 00°45'53"E. PER HERITAGE RIDGE.



SURVEYOR'S SEAL

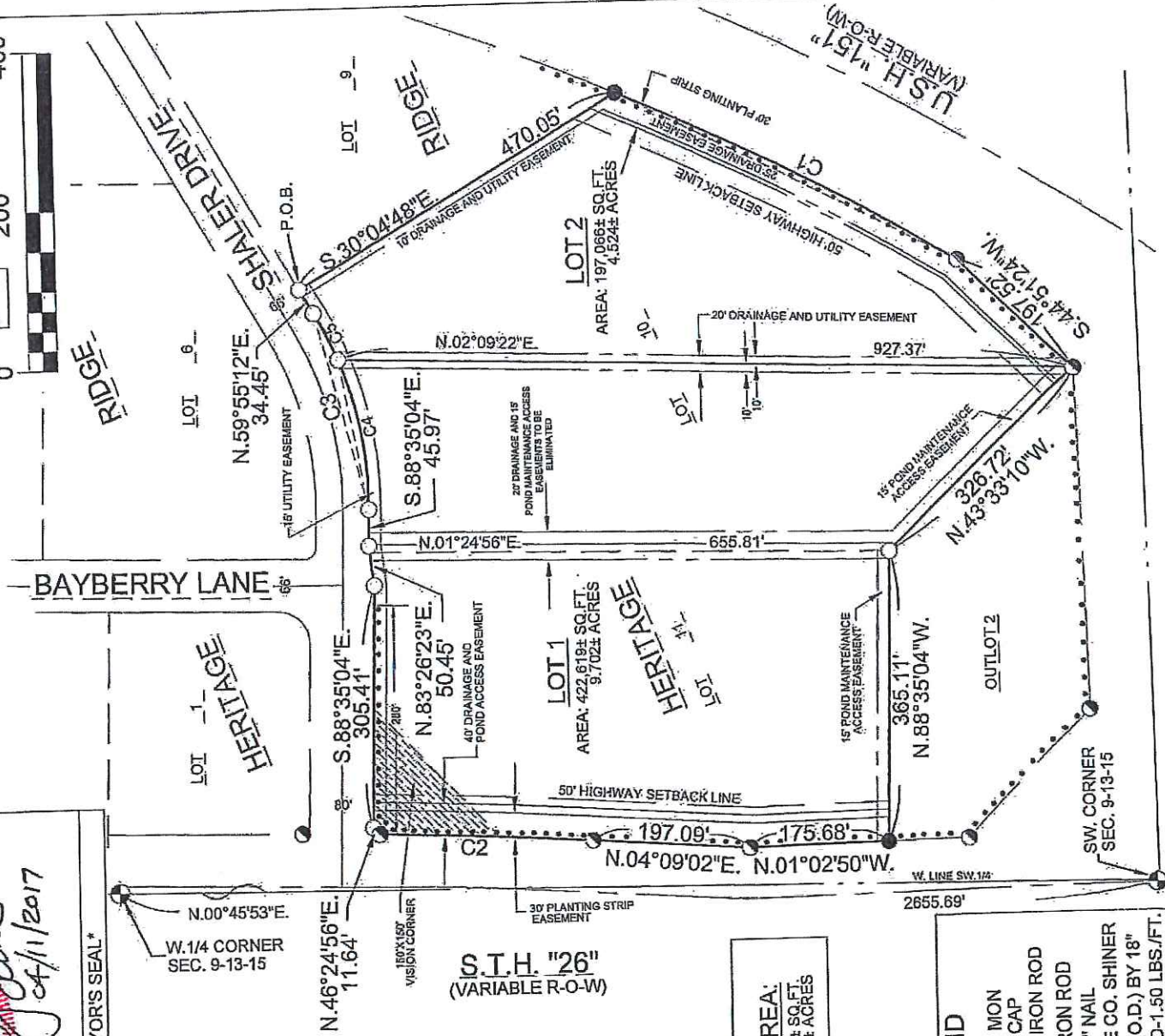
NO.	RADIUS	ARC DIST.	CH. DIST.	CH. BEARING	CENTRAL ANGLE
C1	3569.72'	480.26'	479.92'	S.27°20'25"W.	7°29'54"
C2	7704.44'	269.52'	269.51'	N.03°08'54"E.	2°00'16"
C3	473.00'	260.01'	256.75'	N.75°40'04"E.	31°29'44"
C4	473.00'	193.79'	192.43'	N.79°40'44"E.	23°28'26"
C5	473.00'	66.22'	66.17'	N.63°55'51"E.	8°01'18"

CURVE TABLE

TOTAL AREA:
AREA: 619,685± SQ.FT.
14.226± ACRES

LEGEND

- FD. CONC. MON
- W/BRASS CAP
- FD. 1-1/4" IRON ROD
- FD. 3/4" IRON ROD
- FD. "MAG" NAIL
- W/DODGE CO. SHINER
- SET 3/4" (O.D.) BY 18"
- IRON ROD-1.50 LBS./FT.
- NO VEHICULAR ACCESS LINE





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PROJECT #	R.00212095.D
DRAWN BY:	D.L. LEISTEKOW
CHECKED BY:	M.J. LAUE
FILE #	00212095.CSM
SHEET #	2 OF 2

DODGE COUNTY CERTIFIED SURVEY MAP NO. _____

SURVEYOR'S CERTIFICATE:

I, Michael J. Laue, Professional Land Surveyor of the State of Wisconsin do hereby certify that by order of the City of Waupun (owner), I have made a resurvey of Lots 10 and 11 of Heritage Ridge and being part of the SW.1/4 of the SW.1/4 of Section 9, T.13N., R.15E., City of Waupun, Dodge County, Wisconsin and being more particularly described as follows:

BEGINNING at the Northeastly corner of said Lot 10; thence S.30°04'48"E., 470.05 feet along the Easterly line of said Lot 10 to the Southeastly corner of said Lot 10 and a point on a curve on the Northerly right-of-way line of U.S.H. 151; thence Southwesterly along said right-of-way line 480.26 feet along the arc of a curve to the right and having a radius of 3,669.72 feet and a chord which bears S.27°20'25"W., 479.92 feet and through a central angle of 7°29'54" ; thence S.44°51'24"W., 197.52 feet along a Southerly line of said Lot 10 to the Southerly corner of said Lot 10; thence N.43°33'10"W., 326.72 feet along a Westerly line of said Lot 10 to the Southeastly corner of said Lot 11; thence N.88°35'04"W., 365.11 feet along the Southerly line of said Lot 11 to the Southwesterly corner of said Lot 11 and the Easterly right-of-way line of S.T.H. 26; thence along said right-of-way line N.01°02'50"W., 175.68 feet; thence continuing along said right-of-way line N.04°09'02"E., 197.09 feet to the beginning of a curve; thence Northeastly along said right-of-way line 269.52 feet along the arc of a curve to the left and having a radius of 7,704.44 feet and a chord which bears N.03°08'54"E., 269.51 feet and through a central angle of 2°00'16" to the Southerly right-of-way line of Shaler Drive; thence N.46°24'56"E., 11.64 feet along said right-of-way line; thence continuing along said right-of-way line S.88°35'04"E., 305.41 feet; thence N.83°26'23"E., 50.45 feet along said right-of-way line; thence continuing along said right-of-way line S.88°35'04"E., 45.97 feet to the beginning of a curve; thence along said right-of-way line Northeastly 260.01 feet along the arc of a curve to the left and having a radius of 473.00 feet and a chord which bears N.75°40'04"E., 256.75 feet and through a central angle of 31°29'44"; thence continuing along said right-of-way line N.59°55'12"E., 34.45 feet to the **POINT OF BEGINNING**.

Said parcel contains 619,685 sq.ft. / 14.266 acres more or less.

Bearings referenced to the West line of the SW.1/4 of Section 9-13-15 which bears N.00°45'53"E.

I further certify that this map is a correct representation of all of the exterior boundaries of the land surveyed and the division of that land; that I have complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the City of Waupun Subdivision Control Ordinance in surveying and mapping the same to the best of my knowledge and belief.



Michael J. Laue
04/11/2017

This Land Division and the elimination of a previous 20 foot drainage and 15 foot pond access easement between Lots 10 and 11 of Heritage Ridge and the creation of a new 20 foot drainage and utility easement as shown on the face of the map on Sheet 1 of 2 if hereby approved by the City of Waupun.

Approved by the City of Waupun this _____ day of _____, 20____

Mayor

Clerk